

Appendix 1
SEQR Documentation



May 9, 2017

Involved and Interested Agencies:

**RE: Kiliaen’s Landing Master Plan and Generic Environmental Impact Statement (GEIS)
City of Rensselaer
CHA Project No: 29703**

To Whom It May Concern:

On behalf of the City of Rensselaer Planning Commission (the “Commission”), we are soliciting Lead Agency Status for the above referenced Master Plan and GEIS. The approximately 75 acre Study Area is located on the Hudson River and bounded by the Livingston Avenue Bridge, the CSX Railroad and the City’s municipal boundary with North Greenbush. The intent of this project is to identify and evaluate the potential impacts as well as mitigation measures of a preferred development scenario. Future project plans that fall within the thresholds evaluated in the GEIS and meet the requirements of the Statement of Findings will have fulfilled their obligation under SEQR.

Enclosed please find a copy of Part 1 of the Full Environmental Assessment Form, a site location map as well as a map of the preferred development alternative.

Please review this information and contact our office at 518-453-8771 or jloewenstein@chacompanies.com with any questions. If you concur with the Commission’s request to act as Lead Agency, please sign the box below and return a copy of this letter to our office or provide your own letter, if preferred.

Thank you for your assistance.

Very truly yours,

Jean Loewenstein, AICP
Principal Planner

cc: Charles Moore, AICP, Director of Planning, City of Rensselaer

I concur with the Lead Agency request:

Signature:
Name:
Title:

List of Involved and Interested Agencies

Honorable Dan Dwyer
Mayor
City of Rensselaer
62 Washington Street
Rensselaer, NY 12144

Mr. William Clark Regional Permit Administrator
New York State Department of Environmental Conservation
Region 4
1130 North Westcott Road
Schenectady, New York 12306-2014

NYS Department of State
Office of Planning & Development
Suite 101
One Commerce Place
99 Washington Avenue
Albany, New York 12231-0001

Ms. Jessica Waldorf, LEED GA,
Associate Project Manager
NYSERDA
17 Columbia Circle
Albany, NY 12203

Mr. Sam Zhou, PE, Regional Director
NYSDOT Region 1
50 Wolf Road
Albany, NY 12232

Mr. Gerard S. Moscinski, PE, Administrative Director
Rensselaer County Sewer District
Foot of Water Street
Troy, NY

Ms. RoAnn M. Destito
NYS Office of General Services
41st floor, Corning Tower
Empire State Tower
Albany, NY 12242
Department of General Services



Ms. Linda von der Heide, Principal Planner
Rensselaer County Economic Development and Planning
Rensselaer County IDA
1600 7th Avenue
Troy, New York 12180

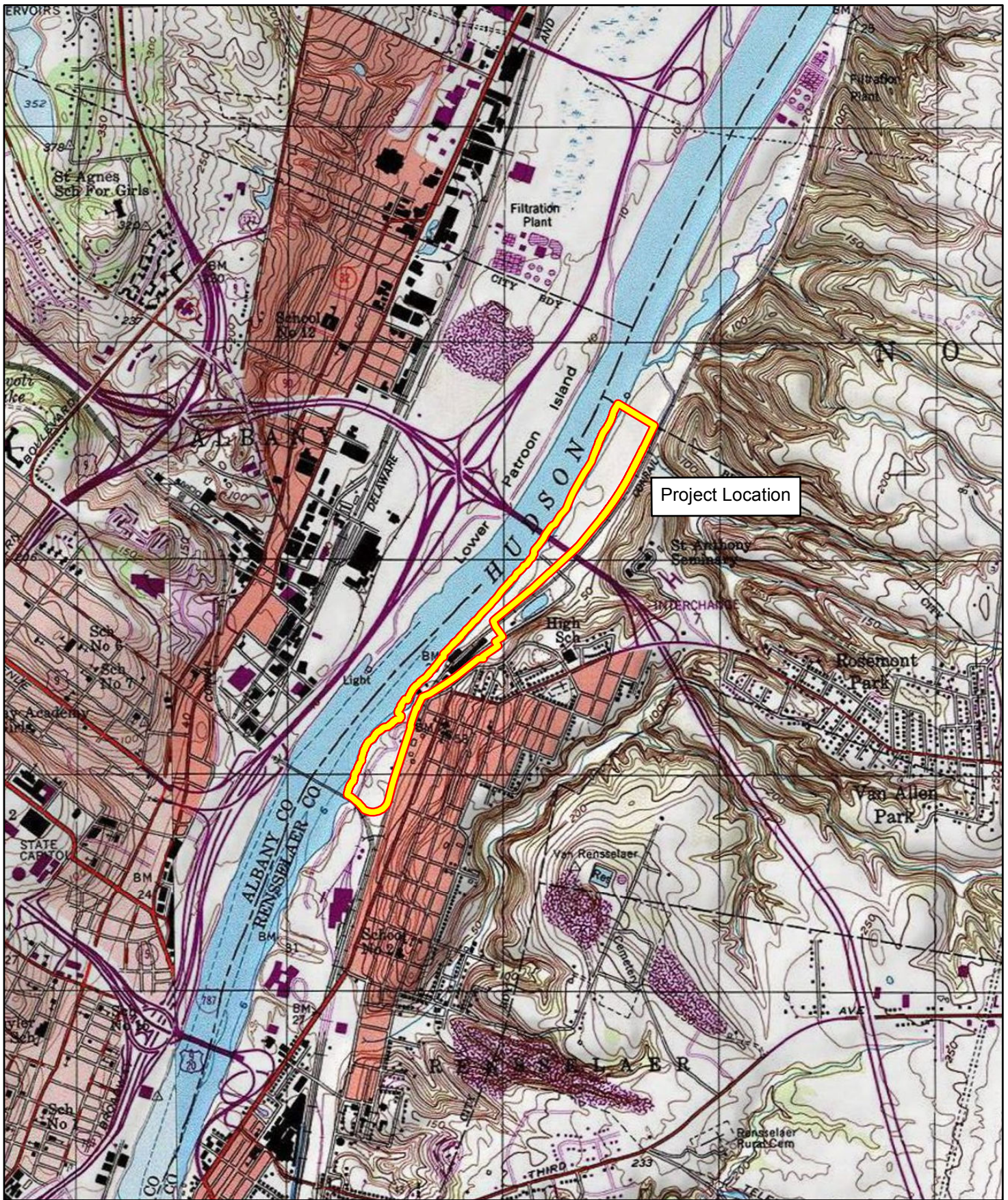
Ms. Ruth L. Pierpont, Deputy Commissioner- interested
New York State Historic Preservation Office
Peebles Island State Park
P.O. Box 189
Waterford, New York 12188

Honorable Louis J. Desso- interested
Supervisor
Town of North Greenbush
2 Douglas Street
Wynantskill, NY 12198

Honorable Kathy M. Sheehan- interested
Mayor
City of Albany
City Hall
24 Eagle Street
Albany, NY 12207

Ms. Shirley M. Jackson, President - interested
RPI
Rensselaer Technology Park
110 Eighth Street
Troy, NY 12180





Project Location

Figure 1

USGS Project Location Map

Kiliaen's Landing

City of Rensselaer, Rensselaer County, New York

Troy South USGS Quadrangle

Service Layer Credits:

Copyright: © 2013 National Geographic Society, I-cubed

USGS Quadrangle Date: 1980



Scale 1" = 2000'

CHA No.
29703



PARCEL OWNERSHIP AND ACREAGE		
Owner	Contact Information	Acres
Polsinello Terminals Inc.	Louis Polsinello, Jr., Oilslube@aol.com	3.23
Vesta Developers Corp	Louis Polsinello, Jr. Oilslube@aol.com	0.58
First Rensselaer Corp	Louis Polsinello, Jr. Oilslube@aol.com	4.61
City of Rensselaer	Honorable Daniel Dwyer, Mayor City of Rensselaer 62 Washington Street Rensselaer, NY 12144 dan.dwyer@rensselaer.ny.gov 518-462-9511	1.64
Hilton Management Company	Building 1 20 Forbes Avenue Rensselaer, NY 12144	6.32
Rensselaer County Sewer District #1	Gerard S. Moscinski, PE, Administrative Director Rensselaer County Sewer District Foot of Water Street Troy, NY 518-232-2235	0.34
State of New York	RoAnn M. Destito NYS Office of General Services 41 st floor, Corning Tower Empire State Tower Albany, NY 12242 518-474-3899/518-474-4944	8.47
Marine Management of the Hudson Inc.	1577 Delaware Turnpike Delmar, NY 12054	2.75
Eugenia Gigliotti	2 Central Avenue PO Box 525 Rensselaer, NY 12144	0.92
Rensselaer Polytechnic Institute (RPI)	Ms. Shirley M. Jackson, President RPI Rensselaer Technology Park 110 Eighth Street Troy, NY 12180 jackson@rpi.edu 518-276-6211	41.0



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Please review this information and contact our office at 518-453-8771 or jloewenstein@chacompanies.com with any questions. If you concur with the Commission's request to act as Lead Agency, please sign the box below and return a copy of this letter to our office or provide your own letter, if preferred.

Thank you for your assistance.

Very truly yours,

Jean Loewenstein, AICP
Principal Planner

cc: Charles Moore, AICP, Director of Planning, City of Rensselaer

I concur with the Lead Agency request:

Signature:	
Name:	DANIEL J. DWYER
Title:	MAYOR

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 4
1130 North Westcott Road, Schenectady, NY 12306-2014
P: (518) 357-2069 | F: (518) 357-2460
www.dec.ny.gov

May 31, 2017

Jean Loewenstein, AICP
Clough, Harbor & Associates
111 Winners Circle
PO Box 5269
Albany, NY 12205-0269

RE: LEAD AGENCY COORDINATION RESPONSE
Kiliaens Landing GEIS
City of Rensselaer, Rensselaer County

Dear Ms. Loewenstein:

This letter responds to your correspondence of May 9, 2017, regarding lead agency coordination for the project referenced herein, under Article 8 (State Environmental Quality Review – SEQRA) of the Environmental Conservation Law and 6 NYCRR Part 617. The New York State Department of Environmental Conservation (“DEC” or “Department”) has the following interest in this project:

Name of Action: Kiliaens Landing GEIS
DEC Contact: Person: Nancy M. Baker

DEC Position: Based on the information provided:

- DEC has no objection to your agency assuming lead agency status for this action.
- DEC wishes to assume lead agency status for this action.
- DEC needs additional information in order to respond (see comments).
- DEC cannot be lead agency because it has no jurisdiction in this action.

Possible DEC Permits:

- **Article 11 Incidental Take Permit** – If the proposed action will result in a “take” of a threatened or endangered species, an Incidental Take Permit will be required. A “take” is defined within ECL §11-0535 regulations as an activity interfering with an essential behavior on habitat occupied by threatened or endangered species.
- **Article 15 Protection of Waters Permit** – The Hudson River is located within the project area. If this project results in excavation or fill below the mean high water level, an Article 15 Protection of Waters Permit for Excavation and Fill will be required.

- In addition, as you can see on the attached resource map, the majority of the shore of the Hudson River contained Submerged Aquatic Vegetation (SAV beds), which are a protected plant species. All measures must be taken to avoid these SAV beds in project planning and design.
- The hatched area, just south of I-90 shows the potential for federal wetlands. Based on the preferred design alternative, it appears that significant disturbance to potential federal wetlands is contemplated. You should contact the US Army Corps of Engineers regarding their interest and jurisdiction over the project.
- Section 401 Water Quality Certification – If this project will impact federally-regulated wetlands or waterbodies, which require a Section 404 Permit (Individual or Nationwide Permit) from the U.S. Army Corps of Engineers, a Section 401 Water Quality Certification may be required from the Department.
- State Pollutant Discharge Elimination System (SPDES) Wastewater Permit – A SPDES permit is required for any facility which has a surface discharge or discharges more than 1,000 gallons per day of sewage-wastewater into ground waters of the state.
- SPDES General Permit for Stormwater Discharges from Construction Activity – If this project will disturb one acre of land or more, the applicant must comply with the State Pollutant Discharge Elimination System (SPDES) Phase II regulations for Stormwater Discharges Associated with Construction Activities.

Additional Comments:

The project appears to be located within an area of potential historical or archeological significance. If approvals/permits are ultimately needed from this Department, we may need to consult with the New York State Office of Parks, Recreation, and Historic Preservation (OPRHP) in order to better evaluate this project's impact on these resources. You may wish to inform the applicant/project sponsor of this potential requirement.

To initiate consultation with OPRHP, please visit their project submission website at <https://cris.parks.ny.gov/>. Please add Nancy M. Baker at nancy.baker@dec.ny.gov to the list of contacts for your project.

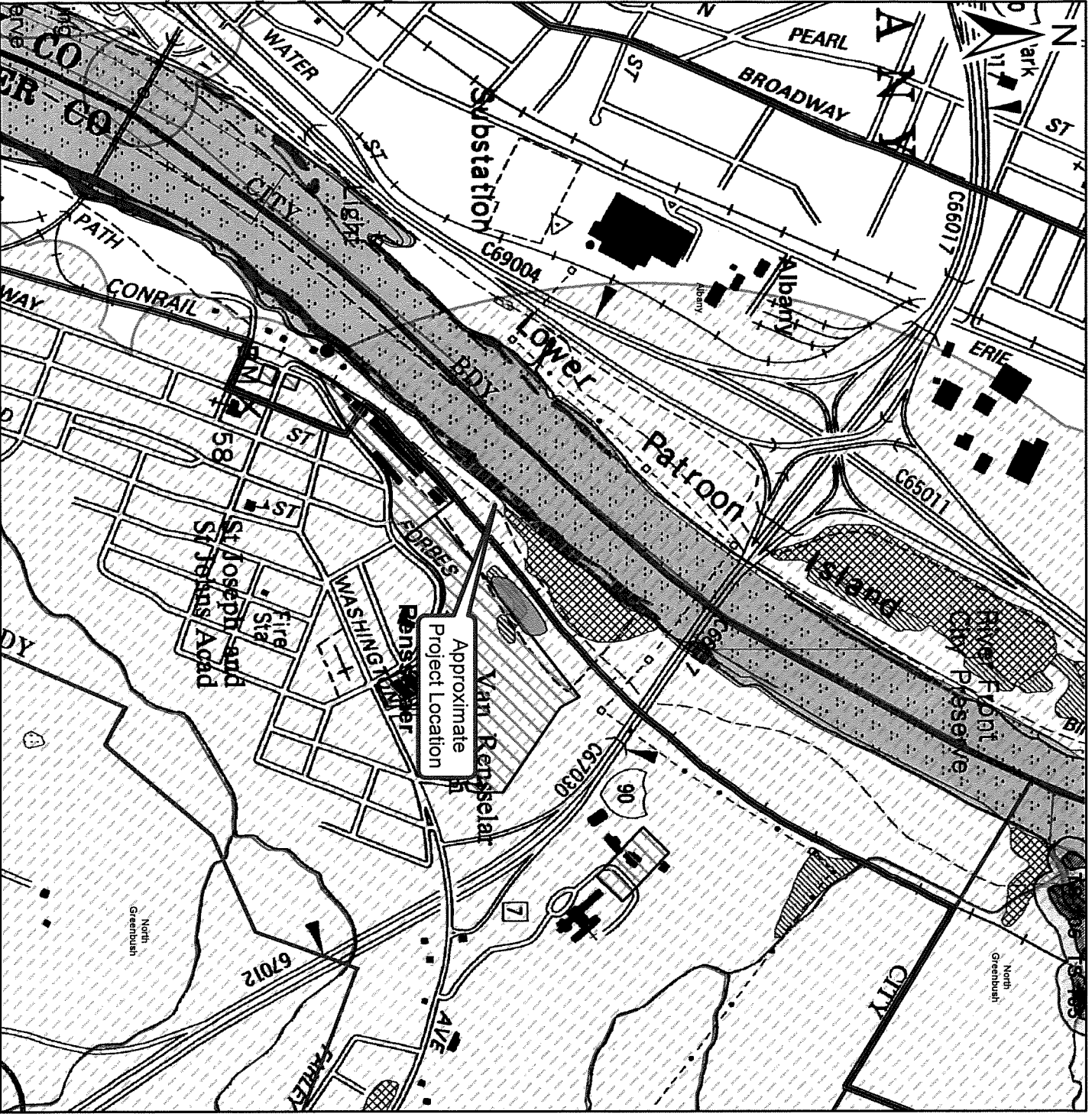
We have reviewed the available information in the New York Natural Heritage Program database on known occurrences of rare or state-listed animals and plants, significant communities and other significant habitats. The project appears to be located within an area that has a known occurrence of sturgeon and several other potential upland animal species. An on-site assessment may be required to determine if any of these species may exist within the project/site.

Enclosed is a copy of the Department's jurisdictional map for your reference. Please note that the map is intended to provide an idea as to the approximate size and location of resources; actual field conditions may vary from those depicted on the map.



NEW YORK
STATE OF
OPPORTUNITY

**Department of
Environmental
Conservation**

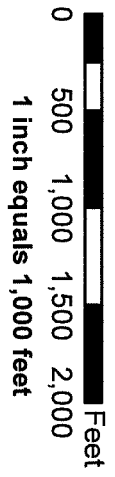


Disclaimer: This map was prepared by Region 4 NYSDEC Division of Environmental Permits using the most current data available. It is deemed accurate but is not guaranteed. NYSDEC is not responsible for any inaccuracies in the data and does not necessarily endorse any interpretations or products derived from the data. This map may contain information that is considered sensitive and therefore the distribution of this map is strictly prohibited. Additional resources may be present but not depicted on this map.

NYS RESOURCES MAP

**Kiliaen's Landing GEIS
City of Rensselaer**

May 31, 2017



Legend

NYS Freshwater Wetland

- Class 1 Freshwater Wetland
- Class 2 Freshwater Wetland
- Class 3 Freshwater Wetland
- Class 4 Freshwater Wetland
- Regulated Adjacent Area Boundary
- Deed Restrictions
- Protected Streams (C(I) and higher)
- Non-protected Streams (C and D)
- Water Quality Classifications (Polygon)

National Wetlands Inventory

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Riverine
- Other

Other Resources

- Archaeologically Sensitive Area
- National/State Register Site
- State Historic Site or Historic Park
- Primary Aquifers
- Hudson River SAV Documented Habitat
- Coastal Management Area Boundaries



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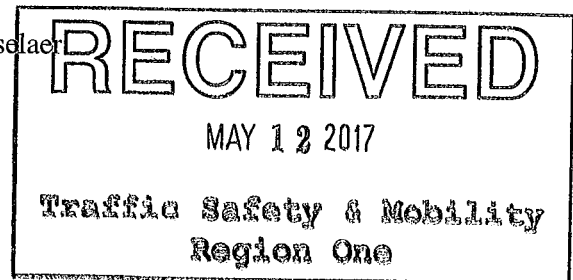
Very truly yours,

Jean Loewenstein, AICP
Principal Planner

cc: Charles Moore, AICP, Director of Planning, City of Rensselaer

I concur with the Lead Agency request:

Signature:	
Name:	LORINDA L. TENNYSON
Title:	PERMIT ENG. - NYS DOT





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Jean Loewenstein, AICP
Principal Planner

cc: Charles Moore, AICP, Director of Planning, City of Rensselaer

I concur with the Lead Agency request:

Signature:	
Name:	GERARD S. Moscinski
Title:	Administrative Director

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
<p>i. Coastal Resources.</p> <p><i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? *GEIS will evaluate scenarios that include residential, commercial & water oriented uses. Yes No
If Yes, show numbers of units proposed.

One Family Two Family Three Family Multiple Family (four or more)

Initial Phase _____
At completion _____
of all phases _____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No

If Yes,

- i. Total number of structures _____
- ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
- iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No

If Yes,

- i. Purpose of the impoundment: _____
- ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
- iii. If other than water, identify the type of impounded/contained liquids and their source. _____
- iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
- v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

- i. What is the purpose of the excavation or dredging? _____
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 - Volume (specify tons or cubic yards): _____
 - Over what duration of time? _____
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____
- iv. Will there be onsite dewatering or processing of excavated materials? Yes No
If yes, describe. _____
- v. What is the total area to be dredged or excavated? _____ acres
- vi. What is the maximum area to be worked at any one time? _____ acres
- vii. What would be the maximum depth of excavation or dredging? _____ feet
- viii. Will the excavation require blasting? Yes No
- ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No

If Yes:

- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p><i>i.</i> During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p><i>ii.</i> During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
---	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site. [Breakdown of buildings, roads, parking, trails, fields, etc. will be provided in GEIS](#)

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: <u>Patroon Agent's House and Office, Clark-Deerstyne-Miller Inn, William Barnet & Son Shoddy Mill Complex, Van Rensselaer High School</u>	
<i>iii.</i> Brief description of attributes on which listing is based: <u>SHPO designation</u>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name City of Rensselaer Planning Commission Date 5/09/17

Signature Jean Loewenstein on behalf of Title Principal Planner, CHA Consulting
Jean Loewenstein, AICP City of Rensselaer

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Project :

Date :

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency’s reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “**Yes**” to a numbered question, please complete all the questions that follow in that section.
- If you answer “**No**” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) <input type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - c. If "No", move on to Section 3.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) <input type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - l. If "No", move on to Section 4.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater			
The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding			
The proposed action may result in development on lands subject to flooding. (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO ₂) ii. More than 3.5 tons/year of nitrous oxide (N ₂ O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF ₆) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>				<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>				<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>		

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered “Yes”, continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property’s setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation			
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If “Yes”, answer questions a - e. If “No”, go to Section 12.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or “ecosystem services”, provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas			
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If “Yes”, answer questions a - c. If “No”, go to Section 13.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation The proposed action may result in a change to existing transportation systems. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.j) <i>If "Yes", answer questions a - g. If "No", go to Section 14.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy The proposed action may cause an increase in the use of any form of energy. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.k) <i>If "Yes", answer questions a - e. If "No", go to Section 15.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____			

15. Impact on Noise, Odor, and Light The proposed action may result in an increase in noise, odors, or outdoor lighting. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.m., n., and o.) <i>If "Yes", answer questions a - f. If "No", go to Section 16.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health			
The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.) <i>If "Yes", answer questions a - m. If "No", go to Section 17.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

17. Consistency with Community Plans			
The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If “Yes”, answer questions a - h. If “No”, go to Section 18.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action’s land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

18. Consistency with Community Character			
The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If “Yes”, answer questions a - g. If “No”, proceed to Part 3.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

Project :

Date :

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: Type 1 Unlisted

Identify portions of EAF completed for this Project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the _____ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action:

Name of Lead Agency:

Name of Responsible Officer in Lead Agency:

Title of Responsible Officer:

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer)

Date:

For Further Information:

Contact Person:

Address:

Telephone Number:

E-mail:

For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

ENB - Region 4 Notices 7/26/2017

Negative Declaration

Columbia County - The Town of New Lebanon, as lead agency, has determined that the proposed Amendment of Section 205 of the Code of the Town of New Lebanon entitled Zoning: Solar Energy Systems will not have a significant adverse environmental impact. The action involves an amendment of Chapter 205 of the Code of the Town of New Lebanon entitled Zoning providing for a new provision related to Solar Energy Systems in section 205-18; reserving section 205-19 for future amendments, and renumbering previous section 205-18 to 205-20 entitled definitions. The action also involved modifications to provisions of the existing Zoning Code in order to address needs within the town that have not already been adequately addressed by the code, including zoning permit requirements, removal of violation requirements, contour map requirements, site plan application requirements, and frontage requirements. The project is located throughout the Town of New Lebanon, New York.

Contact: Tistrya Houghtling, Town of New Lebanon, 14755 State Route 22, PO Box 328, New Lebanon, NY, 12125, Phone: (518) 794-8888, E-mail: townclerk@townofnewlebanon.com.

Positive Declaration and Public Scoping

Rensselaer County - The City of Rensselaer Planning Commission, as lead agency, has determined that the proposed Kiliaen's Landing Master Plan and Generic Environmental Impact Statement (GEIS) may have a significant adverse impact on the environment and a Draft Environmental Impact Statement must be prepared. A **public scoping session will be held on August 7, 2017 at 6:30 p.m. at the City of Rensselaer City Hall, 62 Washington Street, Rensselaer, NY 12144.**

The City of Rensselaer has identified a preferred development scenario for Kiliaen's Landing, an approximately 75 acre site located on the Hudson River. The preferred alternative includes housing, recreational amenities, improved boat launch area, adaptive reuse of the Hilton Center for mixed use retail/residential/cultural arts center. A trail system will connect to the south to Delaet's landing and to the north to the proposed RPI trails system. A GEIS will be prepared, to identify potential impacts and mitigation measures such as but not limited to land use, transportation and infrastructure, utilities, water resources, and aesthetics.

The preferred alternative to be evaluated in the GEIS process was driven by a combination of the results of a Market Study, the Inventory and Analysis, and public input.

The project is located along the Hudson River, Livingston Avenue Bridge, CSX Railroad, North Greenbush Municipal Boundary in the City of Rensselaer, New York.

Contact: Charles Moore, City of Rensselaer, 62 Washington Street, Rensselaer, NY 12144, Phone: (518) 465-1693, E-mail: Charles.moore@rensselaer.gov.

Contact
Page

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Permits
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Albany,
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518-402
Send us

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All of
New York



July 13, 2017

Involved and Interested Agencies:

**RE: Kiliaen's Landing Master Plan and Generic Environmental Impact Statement (GEIS)
Positive Declaration and Notice of Public Scoping
City of Rensselaer
CHA Project No: 29703**

To Whom It May Concern:

As a follow up to its Lead Agency coordination procedures for the above referenced action, the City of Rensselaer Planning Commission (the "Commission"), has adopted a positive declaration in accordance with SEQR Part 617.7 and has determined to conduct public scoping in accordance with SEQR Part 617.8.

Enclosed please find a copy the Draft Scoping Document for this project for your review. Previous correspondence included a site location map as well as a map of the preferred development alternative. This document and the concept plan can be found on the project website at <http://www.kiliaenslanding.com/>.

Please review this information and contact our office at 518-453-8771 or jloewenstein@chacompanies.com with any questions. The Pubic Scoping session will be held on Monday August 7, 2017 at 6:30 at the Rensselaer City Hall. Written comments on the Draft Scope will be accepted on behalf of the Planning Commission until August 14, 2017.

Thank you for your assistance.

Very truly yours,

A handwritten signature in blue ink that reads "Jean Loewenstein".

Jean Loewenstein, AICP
Principal Planner

JL:dm
Enc.

cc: Charles Moore, AICP, Director of Planning, City of Rensselaer

List of Involved and Interested Agencies

Honorable Dan Dwyer
Mayor
City of Rensselaer
62 Washington Street
Rensselaer, NY 12144

Mr. William Clark Regional Permit Administrator
New York State Department of Environmental Conservation
Region 4
1130 North Westcott Road
Schenectady, New York 12306-2014

NYS Department of State
Office of Planning & Development
Suite 101
One Commerce Place
99 Washington Avenue
Albany, New York 12231-0001

Ms. Jessica Waldorf, LEED GA,
Associate Project Manager
NYSERDA
17 Columbia Circle
Albany, NY 12203

Mr. Sam Zhou, PE, Regional Director
NYSDOT Region 1
50 Wolf Road
Albany, NY 12232

Mr. Gerard S. Moscinski, PE, Administrative Director
Rensselaer County Sewer District
Foot of Water Street
Troy, NY

Ms. RoAnn M. Destito
NYS Office of General Services
41st floor, Corning Tower
Empire State Tower
Albany, NY 12242



Ms. Linda von der Heide, Principal Planner
Rensselaer County Economic Development and Planning
Rensselaer County IDA
1600 7th Avenue
Troy, New York 12180

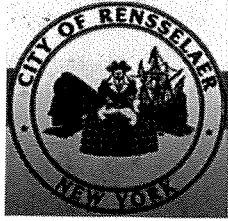
Ms. Ruth L. Pierpont, Deputy Commissioner- interested
New York State Historic Preservation Office
Peebles Island State Park
P.O. Box 189
Waterford, New York 12188

Honorable Louis J. Desso- interested
Supervisor
Town of North Greenbush
2 Douglas Street
Wynantskill, NY 12198

Honorable Kathy M. Sheehan- interested
Mayor
City of Albany
City Hall
24 Eagle Street
Albany, NY 12207

Ms. Shirley M. Jackson, President - interested
RPI
Rensselaer Technology Park
110 Eighth Street
Troy, NY 12180





Kiliaen's Landing Public Meeting #3
 Draft Generic Environmental Impact Statement
 SCOPING SESSION

August 7, 2017
 6:30 PM

Name	Organization	Phone Number	Email (print clearly)
EDWARD SCHILLACI	PLANNING BOARD MEMBER	518-463-8542	EDEAN20@AOL.COM
GEORGE FARRELETT	PLANNING BOARD MEMBER	518 246 0290	
JAMES AHLEMAYER	PLANNING BOARD MEMBER	518.433.1273	JimAllmeyer@yahoo.com
CHRISTINE VAN VORST	PLANNING Bd MEMBER	518 462-2962	CHRISTINE@blue-skiestravel.com
BOB CAMPANO	"	518 283-2245	bobcampano@yahoo.com
BRIDGET MOORE	Planning Bd. member	518-330-5439	bc-moore2000@yahoo.com
RAYMOND STEVENS	PLANNING Bd MEMBER	518 462 0594	RAYMOND STEVENS@NYCAP.PR.COM
JIM VAN VORST	CITY	518-462-2061	JIMVV@NYCAP.PR.COM
JAMES J. DUNN	City Engineer	518 434 8381	
LINDA ALLEN	Public	518 979 1155	lindaallen@alumni.uu.edu
BRIAN STALL	Common Council	518-432-4997	stall_brian@yahoo.com
ALI HASHIMEE	McLaren	518-944-3895	ahashimee@mgmclaren.com
REUBEN HULL	McLaren Engineering	518-992-4830	rhull@mgmclaren.com
ANDREA SMYTH	public		
CHARLES MORE	Planning Director		

**City of Rensselaer
Kiliean's Landing**

**Public Workshop #3
Scoping Meeting
August 7, 2017**

Draft meeting minutes

The scoping session was held during a regularly scheduled Planning Commission meeting. Approximately 15 people were in attendance. Charles Moore introduced Jean Loewenstein and Joe Grasso. Jean Loewenstein reviewed the agenda and updated project status including the process for identifying the preferred alternative that will be evaluated in the GEIS.

The main agenda item was the presentation of the Scoping Document which will guide the GEIS preparation. Copies of the scoping document were available to all attendees and it was noted that the document is also posted on the project webpage and that comments on the written scope will be accepted until August 16, 2017.

Discussions and questions regarding the GEIS followed the presentation:

1. Regarding floodplains- are there limitations on construction in the floodplain? Would construction in the floodplain preclude residents of the City from getting discounts on flood insurance?
2. Will construction in the floodplain affect the City's ability to become a Climate Smart Community?
3. In regards to Community services – include potential impacts to schools.
4. Provide information on tax revenue generation
5. In regards to visual impacts particularly from surrounding neighborhood– how will these be evaluated – response – NYSDEC guideline Assessing and Mitigating Visual Impacts (2000) (Note: this is referenced in Scoping document).
6. Cultural resources- rumors that there are tunnels that are part of the Underground Railroad that extend in to the property.
7. Regarding transportation – it was noted that access to the site is currently limited. Answer – the GEIS will identify the potential increase in traffic and intersections and roadways that would need additional study prior to construction of any projects. This document will not include intersection analysis.
8. Will information on rail traffic be included – Answer YES.
9. Will landowners in the study area be forced to sell property? – Answer NO. It is hoped that the first successful project will encourage additional participation by landowners within study area.
10. How will this project transition from Study to reality?
11. What is the project timeframe? – Answer- the planning documents should be completed in 2018. Beyond that it is difficult to predict. The City continues to promote this area.
12. How will this project impact open space/recreational opportunities?
13. Will project be consistent with Local Waterfront Revitalization Program- Answer – the NYSDOS will conduct a “consistency review” as part of the approval process



September 6, 2017

Involved and Interested Agencies:

**RE: Kiliaen's Landing Master Plan and Generic Environmental Impact Statement (GEIS)
Final Scope
City of Rensselaer
CHA Project No: 29703**

To Whom It May Concern:

On behalf of the City of Rensselaer Planning Commission (the "Commission), the Final Scope is attached for the above referenced project. The Draft Scope was transmitted to your agency on July 13, 2017. The Commission held a Public Scoping meeting on August 7, 2017 and has finalized the Scope in accordance with SEQR Part 617.8.

The Final Scope can also be viewed at the project website at <http://www.kiliaenslanding.com/>. The site contains links to other pertinent documents including concept maps. Additional information related the GEIS will be posted as the project moves forward.

If you have any questions you may contact me at 518-453-8771 or jloewenstein@chacompanies.com.

Sincerely,

A handwritten signature in black ink that reads "Jean Loewenstein". The signature is written in a cursive, flowing style.

Jean Loewenstein, AICP
Principal Planner

JL:dm
Enc.

cc: Charles Moore, AICP, Director of Planning, City of Rensselaer

FINAL SCOPING DOCUMENT

KILIAEN'S LANDING

SITE MASTER PLAN & DRAFT GENERIC ENVIRONMENTAL IMPACT STATEMENT (MASTER PLAN AND DGEIS)

AUGUST 2017

NAME OF ACTION: Kiliaen's Landing Master Plan & Draft Generic Environmental Impact Statement

LEAD AGENCY: City of Rensselaer Planning Commission

CONTACT: Charles Moore, AICP
Director of Planning and Development
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Rensselaer, NY 12144
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LOCATION OF ACTION: Hudson River Waterfront: Between Livingston Avenue Bridge, CSX Railroad and Town of North Greenbush municipal boundary, City of Rensselaer

SEQR STATUS: Type 1

INTRODUCTION - This Scoping Document has been prepared pursuant to Article 8 of the Environmental Conservation Law and 6 NYCRR Part 617, which are together known as the State Environmental Quality Review Act (SEQRA). Under SEQRA, the primary goals of the scoping process are to focus the Environmental Impact Statement on potentially significant adverse impacts and eliminate consideration of those impacts that are irrelevant or not significant. The Draft Generic Environmental Impact Statement ("DGEIS") will address the issues identified in the Final Scoping Document.

The DGEIS will provide a means for the City of Rensselaer Planning Commission (the "Commission"), State and local agencies, and the public to systematically consider the project's significant adverse environmental impacts, alternatives, and measures to mitigate environmental impacts. The DGEIS will facilitate the weighing of social, economic, and environmental factors early in the planning and decision-making process.

The Commission prepared a Full Environmental Assessment Form (FEAF), which they circulated to the Involved Agencies for the purpose of declaring themselves Lead Agency. With no Involved Agencies objecting to the Commission's request, the Commission became Lead Agency on July 10, 2017 and issued a Positive Declaration. Subsequently, the Commission accepted a Draft Scoping Document on July 10, 2017 and circulated it to all Involved Agencies.

To allow for public input, the Commission is making the Draft Scoping Document available for public review. The Public Scoping Process provides the Commission with guidance on matters that must be considered in the DGEIS and provides an opportunity for early participation by State and local agencies and the public in the review of the project. The Public Scoping Period runs from July 10, 2017 until August 16, 2017. A Public Scoping Session is scheduled for August 7, 2017.

PROJECT HISTORY AND DESCRIPTION – The City has long recognized the waterfront development potential of the Study Area. This area has been the subject of a number of development proposals and plans dated as early as 1981. Previous plans include a 1981 Riverfront Development Plan and a 1986 Local Waterfront Revitalization Program (LWRP) Plan. Development proposals include the 1995 Chateau Rensselaer Plan, 1997 Patriot's Landing, and the 2002 Kiliaen's Landing at the Capital Harbor. This site has also been studied in other plans including the 2004 Superfund Site Facility Siting Report, 2004 Rensselaer County Trail Report, and the Forbes Avenue Transportation Study.

In 2014 the City was awarded a Cleaner, Greener Community (CGC) Program Phase II grant from NYSERDA (contract date July 14, 2015). The City has used these funds to conduct a Site Analysis and Market Study and to undertake a community visioning process during late 2016 and early 2017 to determine the best use of the site. This led to the creation of a Site Master Plan for the development of Kiliaen's Landing (the "Project"). The next step in the process is the completion of a Generic Environmental Impact Statement to identify the environmental issues through the SEQR process and provide development guidelines and thresholds.

SITE DESCRIPTION - This approximately 75 acre site is generally bounded by the Hudson River, the Livingston Avenue Bridge, the Town of North Greenbush and the CSX Railroad ROW (Project area map attached). Developed features of the site include the Hilton Center (historic Mill complex), the city boat launch and a City operated wastewater pump station. The southern portion along the river and adjacent to the Livingston Avenue Bridge is undeveloped and heavily forested. The central portion of the site includes the Hilton Center and the City boat launch. The remaining acreage consist of additional undeveloped riverfront lands. Residential uses interspersed with some business uses dominate the neighborhood southeast of the site. The Amtrak maintenance facility

is located immediately southwest of the Livingston Avenue Bridge. To the north and northeast lands are generally undeveloped.

CONTENTS OF THE DGEIS

Cover Sheet

The DGEIS will contain a cover sheet that presents a project title, applicant, list of document authors and contacts, the name of the Lead Agency and a contact, the project location, SEQRA status and relevant dates (i.e. date of acceptance by the Lead Agency, date by which comments must be received, date of public hearing and final date of acceptance).

Executive Summary

This section will describe the format of the document and will include the following elements:

- A brief description of existing site conditions and any significant adverse impacts on the site from the preferred development scenario;
- Description of the reasonable alternatives to the preferred development scenario;
- Discussion of mitigation measures and future thresholds for redevelopment;
- List of required local, County, State and Federal approvals and permits.

Table of Contents

The Executive Summary will be followed by a Table of Contents listing document sections, figures, tables, and appendices. The appendices will include technical studies in preparation of the site master plan. All pertinent SEQRA documentation will be included as appendices to the DGEIS. Other readily available public documents will be referenced, as necessary.

1.0 INTRODUCTION

1.1 Purpose and Need for the Project

This section will describe the history and background of the project including previous studies completed for the project area. It will present the City's goals and objectives as well as the socio-economic benefits of the project to the City of Rensselaer and Rensselaer County. The need to develop a plan for sustainable development on a key waterfront site in this economically distressed community will be discussed.

1.2 Site Location, Description and Setting

The Study Area of the Master Plan and DGEIS will be described. A site location map and an aerial photograph of the site and neighboring areas will be prepared. The current and past land uses of the site, as well as its relationship to current City plans and regulations, will be described.

1.3 SEQR Process and Required Approvals

This section will provide an overview of the SEQR process for this project and an anticipated project timeline. It will also identify the potential approvals required for the project, including Federal, State, local agency permits and local board actions.

2.0 PROJECT DESCRIPTION

This section will present the preferred development alternative (Project) identified as a result of the Master Plan and the Market Study and will provide the basis for impact analysis. Limitations identified in the GEIS through studies and evaluation will be expressed as thresholds for future development. Future plans and projects that meet these thresholds will be considered in compliance with the GEIS and associated Statement of Findings. Future plans and projects that exceed the thresholds (one or more) must undergo further SEQR review to identify the significance of the impact(s).

3.0 ENVIRONMENTAL SETTING, POTENTIAL IMPACTS AND MITIGATION MEASURES

This section of the DGEIS will describe the project's existing environmental setting and those aspects of the environment that may be adversely or beneficially impacted by the proposed action. Where potential impacts are identified, mitigation measures will be described to avoid or minimize the significance of the impacts.

A full environmental assessment form was prepared to determine the potential significance of the project impacts. Based on this initial analysis, the following scope is provided for consideration.

3.1 Land Use and Zoning

Potential Impact: Existing land use on the site is a combination of undeveloped lands as well the City Boat Launch and underutilized Hilton Center. The site is surrounded by a mix of residences,

small commercial uses and the Amtrak maintenance facility. Existing zoning consists of Waterfront Mixed Use (MU-2), Downtown Mixed use (MU-1) and Open Space and Conservation (OS). Portions of the site are also part of the Bath Neighborhood, a designated Historic Overlay District. The proposed project will redefine the uses of the site but will remain consistent with the current zoning. As a result, it is anticipated that as projects develop they will enhance the existing neighborhood and provide new, safe recreational waterfront opportunities. The new uses will also be evaluated against the State coastal zone policies.

Anticipated Information Necessary to Address the Impact:

- (i) Existing Information-
 - City of Rensselaer Zoning Map and Zoning Ordinance
 - City of Rensselaer Downtown Redevelopment Plan
 - NYS GIS Clearinghouse GIS Data and Ortho Images
 - City of Rensselaer Comprehensive Plan
 - City of Rensselaer Local Waterfront Revitalization Plan

- (ii) Required New Information and Methodology for Obtaining Same - Existing land uses within and adjacent to the site will be identified and evaluated through field reconnaissance.

Initial Identification of Mitigation Measures: Mitigation measures could include site planning and design techniques to ensure the Kiliaen’s Landing project protects and enhances the City of Rensselaer and surrounding neighborhood.

The Site Master Plan will result in a mix of uses including residential, commercial, office space and water related uses, as well as the identification of a potential multi-use path to provide connections to the surrounding community. This section will include a description of the relationship between the City’s Downtown Development Plan (June 2003), specifically the area identified as the Bath Neighborhood and the project site.

It is anticipated that the proposed Site Master Plan will be developed in general conformance with existing site zoning; therefore, impacts to zoning are not expected. The Site Master Plan will identify methods to integrate the revitalized site into the surrounding community.

3.2 Transportation

Potential Impact: The site is in close proximity to I-787 and I-90 and therefore has great potential for easy access. However development of the site may result in an increase in traffic on the surrounding local road network, potentially causing impacts to the roadways at specific intersections such as site access driveways and on local streets.

Information Needed to Address the Impact:

- (i) Existing Information - Existing traffic data will be collected from the Capital District Transportation Committee (CDTC) and New York State Department of Transportation (NYSDOT). Applicable information from the 2005 Forbes Avenue Transportation Study will also be used. A description of local circulation patterns, including vehicular transportation, mass transit, pedestrian, and bicycling connections available to the site and to the larger community roadway system serving the proposed site will be presented.

- (ii) Required New Information – Proposed land uses, including the number and type of residential uses, non-residential uses and square footage will be used to project traffic volumes that may be generated from the preferred alternative. A traffic study with intersection analysis is **not** included in this scope. The evaluation to be performed is intended to generally identify the likely traffic patterns resulting from the preferred alternative and to identify roads and intersections where additional future study may be required as specific projects are proposed for the site.

The process to evaluate and identify necessary future improvements as a result of the preferred alternative will be outlined. This will include the identification of key intersections to be studied as well as any additional data to be collected prior to actual construction.

Discussions with CSX railroad will be held to establish the process for any required upgrades to the existing at-grade railroad crossings.

Within the vicinity of the Site, safety issues such as pedestrian crossings and emergency vehicle access will be reviewed. Pedestrian and transit accommodations and connectivity to existing and proposed adjacent land uses and associated features will be reviewed as well.

Initial Identification of Mitigation Measures: A discussion of the steps required to identify the future improvements that may be necessary as it relates to the preferred development alternative will be included.

The Master Plan design will minimize reliance on automobiles for residents and visitors and promote walkability and the use of public transit facilities. The feasibility of creating a Commuter Link connecting Kiliaen’s Landing with the Rensselaer Technology Park and Downtown Albany will be explored during the planning process.

The process to initiate any required upgrades to the existing at-grade CSX railroad crossings will be outlined.

3.3 Utilities

Potential Impact: Facilities constructed as part of Kiliaen's Landing will be connected to the City's water, wastewater, and stormwater infrastructure. The combination of new facilities and renovated structures will increase water usage, and wastewater and stormwater generation and increase demands for gas and electric service. The project site is located in an area served by water as well as combined sanitary and stormwater sewers. Depending on the increase, the capacity of these systems could be impacted. Existing utilities could be temporarily impacted during construction if they require relocation to accommodate construction.

Overhead utilities traverse the site near the Livingston Avenue Bridge extending northeast towards Tracy Street. There is also a Rensselaer County sewer main traversing the entire length of the study area.

Anticipated Information Necessary to Address the Impact:

- (i) Existing Information- Record mapping and asset management plans from the City of Rensselaer, existing infrastructure capacity data.
- (ii) Required New Information and Methodology for Obtaining Same – Available topographic and utility survey of the Site and adjoining area, contact with knowledgeable individuals (i.e. City Engineer/City DPW, City Water Department, County Sewer District) to obtain information on capacity of existing utilities.

Initial Identification of Mitigation Measures: It is not known at this time what improvements to utilities would be required to support the project, but it could include upgrades or improvements to the existing utilities.

The relocation of overhead power lines has been discussed in previous planning documents for this area. The GEIS will review the previous discussion and will identify the procedure required to plan for and relocate the power lines. It is anticipated that a separate planning effort outside this GEIS would be required in order to identify alternative routing, land use/property considerations, costs, and permitting/approval implications.

The area of Kiliaen's Landing is part of the combined sewer system and is subject to combined sewer overflows (CSO's) during certain storm events. To mitigate impacts associated with the increase in stormwater runoff, it is expected that recommendations and standards will be provided

for construction and operation in conformance with NYSDEC Stormwater Management Design Manual (January 2015). Compliance with NYSDEC Construction Activity Permit (SPDES GP-0-10-001) and/or the MS4 Stormwater Discharge Permit (SPDES GP-0-10-002) will also mitigate potential stormwater related impacts.

3.4 Topography and Soils

Potential Impact: The site is characterized by areas of steep slopes near the site periphery. Erosion and sedimentation are potential impacts that can be mitigated by standard erosion control practices and protecting drainage courses and steep slopes. The site is not located in a New York State Agricultural District. Site soils generally consist of fill.

Anticipated Information Necessary to Address the Impact:

- (i) Existing Information: Soil Survey data for Rensselaer County, Natural Resource Conservation Service United States Department of Agriculture (USDA) soils data.
- (ii) Required New Information and Methodology for Obtaining Same: None

Initial Identification of Mitigation Measures: Alteration of the site's topography, vegetation and drainage patterns due to grading/excavation will be discussed. The limits of disturbance and influence of topography on site drainage and site planning will be discussed.

A discussion of erosion and sediment control, dewatering activities, rock removal techniques including blasting, and best management practices and their consistency with the New York State Pollution Discharge Elimination System (SPDES) General Permit GP-0-15-002 and NYS Standards and Specification for Erosion and Sediment Control will be provided.

3.5 Water Resources

Potential Impact: Development of the site may result in increased runoff, erosion, and sedimentation and water quality impacts to the Hudson River. The project area is located in the Federal Emergency Management Agency (FEMA) designated 100 year floodplain. Development in the floodplain could increase the flooding potential and could impact the new site development if not constructed properly. This is further confounded by sea level rise.

Anticipated Information Necessary to Address the Impact:

- (i) Existing Information: Review of FEMA floodplain mapping and sea level rise projections; City of Rensselaer Flood Damage Prevention regulations

(ii) Required New Information and Methodology for Obtaining Same: General discussion of stormwater runoff and methods of controlling runoff suitable for the site.

Initial Identification of Mitigation Measures:

To mitigate impacts associated with the increase in stormwater runoff, it is expected that recommendations and standards will be provided for construction in conformance with NYSDEC Stormwater Management Design Manual and General Construction Permit and/or the MS4 Stormwater Discharge Permit will also mitigate potential stormwater related impacts.

Mitigation measures to minimize impacts from stormwater quantity and quality will be described. Such measures will include management and treatment of stormwater and protection of aquatic resources.

It is expected that any work on the site will meet the requirements of the City's Flood Damage Prevention regulations.

Depending on the extent of impact to the floodway, base flood elevations, or the special flood hazard area, it may be necessary to obtain a Conditional Letter of Map Revision (CLOMR) from FEMA prior to site development. A Letter of Map Amendment may also be considered if it is found that the floodplain mapping is incorrect.

3.6 Ecology

Potential Impact: Development within the project area has the potential to impact Federal or State protected species as well as displace common species by reducing wildlife habitat. This section will discuss impacts to terrestrial and aquatic resources, including direct impacts to the Hudson River and associated permits that may be required.

Anticipated Information Necessary to Address the Impact:

- (i) Existing Information: Available mapping such as USGS topographic mapping and aerial photographic imagery will be used along with NYSDEC Natural Heritage Program data and U.S. Fish and Wildlife Service data. Review of NYSDEC submerged aquatic vegetation data,
- (ii) Required New Information and Methodology for Obtaining Same: A field investigation will be conducted to confirm the presence or absence of critical habitat identified through consultation with the NYSDEC Natural Heritage Program or U.S. Fish and Wildlife Service. Wetland area will be sketched.

Initial Identification of Mitigation Measures: Impacts to plant and animal wildlife as a result of habitat loss and change of habitat types and potential for habitat fragmentation (if any) will be discussed. If required site design will incorporate avoidance or mitigation and protection of key habitat.

At this time it is anticipated that the concept designs will avoid impacts to wetlands and waters of the U.S. A discussion of compliance with applicable regulations will be provided.

3.7 Cultural Resources

Potential Impact: The site includes the vacant Barnet-Shoddy Mill Complex, a 19th century complex operating as a shodding mill for the reclamation of woolen products. Impacts to this structure from conversion to other uses and from modifications of the landscape and historical context will be discussed. Additionally, lands adjacent to the Hudson River are typically sensitive for the presence of pre-contact archeological resources.

Anticipated Information Necessary to Address the Impact:

- (i) Existing Information- Review existing archeological studies completed for adjacent and nearby areas.
- (ii) Required New Information and Methodology for Obtaining Same –A Phase 1A Literature Review and Sensitivity Assessment will be conducted by a qualified professional archeologist. .

Initial Identification of Mitigation Measures: Coordination with the NYS Office of Parks, Recreation and Historic Preservation (OPRHP) may reveal specific concerns and recommendations to limit impacts to the historic mill. It is likely that OPRHP will recommend additional field testing to address archeological resources. These will be presented as future actions that will be required prior to construction.

3.8 Aesthetic and Visual Resources

Potential Impact: Visual characteristics of the project area as a result of the preferred development scenario will change from partially undeveloped to developed. New construction that is out of scale with surrounding land use and existing structures has the potential to visually impact the adjacent neighborhood. Existing views from the surrounding neighborhood to the Hudson River could be altered.

Anticipated Information Necessary to Address the Impact:

- (i) Existing Information- Design Guidelines outlined in The City of Rensselaer Downtown Redevelopment Plan and the City's Local Waterfront Revitalization Program document.
- (ii) Required New Information and Methodology for Obtaining Same - A field reconnaissance of the Site will be conducted to evaluate the general visual character of the Site and surrounding area. The NYSDEC Program Policy entitled *Assessing and Mitigating Visual Impacts* (2000) will be used as appropriate in conducting the assessment.

Initial Identification of Mitigation Measures:

Mitigation measures could include:

- Vegetative buffers and selected tree clearing.
- The use of landscaping and building materials to provide an attractive transition between the site and the surrounding neighborhood.
- Transition to less dense development or building styles that complement existing structures towards the edges of the site.
- Use of appropriate design guidelines from The City of Rensselaer Downtown Redevelopment Plan.
- Use of dark sky friendly lighting fixtures to minimize glare and light spillage.

3.9 Air Quality

Potential Impact: Potential air quality impacts include increased air emissions from additional traffic including service and delivery vehicles associated with the development scenario. There is a potential for short term impacts to air quality during construction activities.

Information Needed to Address the Impact:

- (i) Existing Information – Review New York State Department of Environmental Conservation (NYSDEC) Ambient Air Quality Data available from the Loudonville, NY air monitoring station.
- (ii) Required New Information and Methodology for Obtaining Same – Impacts on air quality will be assessed qualitatively through a review of existing air quality data and potential additional traffic levels, and proximity of sensitive air receptors (e.g. hospitals, schools, residences etc.). An air quality model or quantitative assessment of air quality impacts will **not** be completed.

Initial Identification of Mitigation Measures: Impacts associated with the project are anticipated to be temporary and related to construction activities.

All construction equipment should be properly tuned and maintained to minimize air impacts. Frequent watering of construction areas would be required to minimize dust. Sweeping and cleaning of streets and access driveways would also be done to minimize the amount of fugitive dust.

3.10 Noise

Potential Impact: There is a potential for short term noise impacts during construction activities.

Information Needed to Address the Impact:

- (i) Existing Information – none

- (ii) Required New Information and Methodology for Obtaining Same –A field review of the Site and surrounding area will be conducted to determine land uses that may be sensitive to the short term impacts of construction activities and operations.

Initial Identification of Mitigation Measures: All construction equipment should be properly tuned and maintained to minimize noise impacts. Restrictions on work hours to normal daytime hours will help to reduce the impacts.

3.11 Hazardous Materials

Potential Impact: Due to the age of the William Barnet Mill, there is potential for asbestos in certain building components that would need to be remediated prior to renovations.

Anticipated Information Necessary to Address the Impact:

- (i) Existing Information – NYSDEC Environmental Site Remediation Database, Preliminary Assessment of environmental and building codes issues Hilton Center Property- dated May 14, 2013, EDR Radius Map Report dated April 24, 2013.
- (ii) Required New Information and Methodology for Obtaining Same- A desktop screening will be conducted to identify the potential presence of hazardous materials within or immediately adjacent to the Site. No additional assessment will be made of structures that are part of the Hilton Center property,

Initial Identification of Mitigation Measures: Based on results of the desktop screening, a process to further identify and mitigate potential hazardous materials will be outlined.

3.12 Community Services

Potential Impact: The City of Rensselaer Police Department and Fire Department would provide Emergency Medical Services (EMS), police, and fire services during construction and operation of facilities within Kiliaen's Landing. The development and operation of this site is not expected to significantly affect the ability of these agencies to maintain public safety. Additional students may enter Rensselaer Central Schools (RCS) if the residential component of the project are constructed. The project will result in additional recreational opportunities for residents and the public at large.

Anticipated Information Necessary to Address the Impact:

- (i) Existing Information- none
- (ii) Required New Information and Methodology for Obtaining Same - The City of Rensselaer Police Department and Fire Department will be contacted regarding department resources and potential concerns. Contact with the Superintendent will be made regarding the potential for to accommodate additional students.

Initial Identification of Mitigation Measures: Input from emergency services will inform future site design to ensure that the facility is accessible and serviceable by police, fire and EMS vehicles. It is anticipated that impacts related to recreational opportunities will be beneficial.

3.13 Unavoidable Impacts

Potential Impact: The project may result in some impacts that either cannot be mitigated or can only be partially mitigated. These impacts will be identified during the evaluation of impacts and explained further in this section.

4.0 Alternatives

This section of the GEIS will address the alternatives evaluated in the process of identifying the preferred action. This will include the following:

No Action - the "no action" alternative will evaluate the impacts on the City of Rensselaer if Kiliaen's Landing is not constructed.

Alternative Sizes or Uses –The alternatives developed and evaluated as part of the Master Planning process will be presented.

5.0 Irreversible and Irretrievable Commitment of Resources

This section will discuss the commitment of resources such as materials and energy that cannot be retrieved or avoided as a result of the project. This section will acknowledge the irreversible commitment of the site to the proposed use, as well as the potential for redevelopment. This section will also discuss the various resource commitments.

6.0 Use and Conservation of Energy

This section will identify the types of energy resources likely to be used during construction and operation of the project and the energy saving measures that can be incorporated into design.

7.0 Future SEQR Actions

This section will identify the SEQR process for future actions proposed for this site.

Preliminary List of Appendices

1. Lead Agency Coordination
2. Final Scoping Document
3. Inventory and Analysis
4. Market Study
5. Phase 1A Literature Review and Sensitivity Assessment
6. Hazardous Materials desktop screening
7. Correspondence

Appendix 2
Inventory and Analysis

Kiliaen's Landing

Inventory and Analysis

City of Rensselaer

Prepared for:

*City of Rensselaer
62 Washington Street
Rensselaer, NY 12144*

Prepared by:



*3 Winners Circle
P.O. Box 5269
Albany, NY 12205*

June 2016

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Appendices

- A. Site Ecology and Constraints memo
- B. Green Infrastructure (Stormwater) Design memo
- C. Additional Site Photographs

INVENTORY AND ANALYSIS

Kiliaen's Landing is located in the northwest portion of the City of Rensselaer, Rensselaer County (Figure 1). It is easily accessible to Albany and points west via the Dunn Memorial Bridge and the Patroon Island Bridge. Access to major routes I-87, I-90 provide swift connections in all directions. The City is compact: both the Rensselaer Train Station and Downtown are approximately one mile south of the site. The RPI Technology Park and Hudson Valley community College are located a short distance to the northeast in the City of Troy. Albany lies directly west on the opposite side of the Hudson River. See Figure 1, Project Location map and Figure 2, Community Context map.

A. ZONING, LAND USE AND PARCEL OWNERSHIP

ZONING

The approximately 75 acre project site is generally bounded by the Hudson River, Livingston Avenue Bridge, the Town of North Greenbush and the CSX Railroad right-of-way. Zoning within the project boundary include Waterfront Mixed Use (MU-2), Downtown Mixed Use (MU-1), and Open Space and Conservation. Portions of the project area are part of the Bath Neighborhood which is designated as a Historic Overlay District (Figure 3, Zoning and Parcel Ownership). The Bath Neighborhood is bounded by the Hudson River, Washington Avenue, Broadway and Tracy Street. This overlay district is underlain by both the MU-1 and MU-2 zones (Figure 3, Zoning & Parcel Ownership).

The purpose of the MU-2 zone is to capitalize on the City of Rensselaer's waterfront and convenient access to water and rail transportation by encouraging a mix of residential, commercial, and public uses. All private development, where applicable, in the Waterfront Mixed-Use District shall include public access directly adjacent to the water. The intent of the MU-2 District is to promote the horizontal and vertical mixing of residential and commercial uses to create an active waterfront, enhance the business community, and reduce vehicle traffic while encouraging pedestrian traffic.

The MU-1 zone is intended to accommodate a mix of higher-density residential and commercial uses to encourage a vibrant, walkable central core consistent with the historic character for the City of Rensselaer. Similar to the MU-2 District, the MU-1 zone will promote the horizontal and vertical mixing of residential and commercial uses to create an active street life, enhance the vitality of businesses and reduce vehicle traffic. A key goal of the design standards is to strengthen the connections between key elements in the City including the waterfront.

All permitted and special permitted uses allowed in the MU-1 and MU-2 zones are allowed; the overlay district requires that any new construction, demolition, addition, or modification to the exterior of an existing structure be reviewed and approved by the Planning Commission and be issued a Certificate of Appropriateness.

The entire northern portion of the project site is zoned OS; its purpose is to preserve the historic, scenic, recreational and environmental value of officially designated parkland, environmentally sensitive areas, heavily wooded areas, and other open spaces, which may or may not be accessible by the public. Further, the intent of the OS District is to provide areas for the development of new passive and active parks, multi-use trails, and small-scale environmental interpretive sites.

Land Use

Existing land use can be characterized as undeveloped and/or underdeveloped. The undeveloped area between the Forbes Avenue Bridge and Tracy Street is generally wooded. The small area located between Tracy Street and the Forbes Avenue Boat Launch contains a residential property and a cleared vacant area. The Boat Launch is the only designated stop in the City on the Hudson River Greenway Water Trail and provides excellent views of the City of Albany. Immediately southeast of the Forbes Avenue Boat Launch is the CSX railroad tracks and the abandoned Hilton Center. Remaining lands are wooded and undeveloped (Figure 4).

Land uses immediately east and southeast of the site include the well-established residential neighborhood along Broadway and surrounding roadways. This neighborhood consists primarily of two to three story single family, two family and small scale multi-family buildings dating back to the late 19th and early 20th century. There are a number of larger historic homes on the slopes east of Broadway. Immediately south of the site are the Livingston Avenue Bridge and Amtrak's Rensselaer Maintenance Facility, and the former site of Rensselaer High School. Undeveloped lands border the northern portions of the project site. The potential multi-use pathway connection between the property and the Rensselaer Technology Park traverses undeveloped lands

The purpose of the MU-2 zone is to capitalize on the City of Rensselaer's waterfront and convenient access to water and rail transportation by encouraging a mix of residential, commercial, and public uses. All private development, where applicable, in the Waterfront Mixed-Use District shall include public access directly adjacent to the water. The intent of the MU-2 District is to promote the horizontal and vertical mixing of residential and commercial uses to create an active waterfront, enhance the business community, and reduce vehicle traffic while encouraging pedestrian traffic.

Parcel Ownership

The project site encompasses approximately 75 acres and includes 32 tax parcels and 7 property owners¹ as outlined in the Table below and Figure 3. Ownership ranges from the City, the State of New York, Rensselaer Polytechnic Institute and several private landowners. Rensselaer Polytechnic Institute owns over half of the property, approximately 41 acres in the northern reaches of the site. The City and RPI have had preliminary discussions regarding development of RPI owned lands. Lands listed under Polsinello Terminals Inc., Vesta Developers Corp, and First Rensselaer Corporation are under one ownership and consists of 8.42 acres in the southern portion of the site. This owner has consistently expressed interest in developing this site. The City will be responsible for negotiating with property owners in regards to site access and development.

PARCEL OWNERSHIP AND ACREAGE		
Map Number	Owner	Acres
1,10,16,19,21,23*	Polsinello Terminals Inc.	3.23
9*	Vesta Developers Corp	0.58
12,13,17,18,20,24*	First Rensselaer Corp	4.61
2,3,4	City of Rensselaer	1.64
5,27	Hilton Management Company	6.32
6	Rensselaer County Sewer District #1	0.34
7,9,14,15,22,25	State of New York	8.47
8	Marine Management of the Hudson Inc.	2.75
11	Eugenio Gigliotti	0.92
26,28,29,30,31	Rensselaer Polytechnic Institute (RPI)	41.0

*Parcels under one ownership

B. TOPOGRAPHY AND SOILS

Topography can be described as variable across the site. Slopes in the area of the Livingston Avenue Bridge and Tracy Street are undulating, generally ranging from 0-15% (Figure 5). At the southernmost boundary elevations are highest and slopes steepest at or adjacent to the CSX Railroad ROW sloping steeply downward into the site followed by a more gradual slope towards the Hudson River. Along the southeastern boundary the highest elevation can be found on the embankment which rises sharply upward to the northwest from the CSX Railroad ROW and

¹ Parcels owned by Polsinello Terminals Inc., Vesta Developers Corp., & First Rensselaer Corp. are under one ownership

immediately sloping downward towards the River. With the exception of the Forbes Avenue Pump Station this area of the site remains undeveloped. The steepest slopes are associated with Hoosic soils characterized by the hill immediately southeast of the Hilton Center.

The northern area of the site consists primarily of fill material, characterized by undulating slopes ranging from 0-15%. Again the CSX Railroad embankment along the site's southeastern edge generally represents the highest elevations sloping downward to the River.

According to the USDA Natural Resources Conservation Service (NRCS) web soil survey there are four soil types found on site dominated by Udorthents, sandy (Figure 6).

KILIAEN'S LANDING SOIL TYPES		
Soil type	Depth to water table	Slope
Hoosic gravelly sandy loam, steep (HoE)	6.5+ feet	25-35%
Limerick silt loam, (LmA)	9 inches	0-3%
Udorthents, loamy (Ud)	3 to 6 feet	0-8%
Udorthents, sandy (Ue)	6.5+ feet	0-15%

The suitability of the existing soils for development would have to be determined by site specific investigations. This is particularly true of the fill soils that can be composed of variable materials.

C. SURFACE WATER RESOURCES

FLOODPLAINS AND SEA LEVEL RISE

According to Federal Emergency Management Agency floodplain mapping, the project site is located entirely within the FEMA 100 year floodplain (Figure 7). Development of the site will meet the requirements of the National Flood Insurance Program and the specific requirements of the City of Rensselaer Flood Damage Control Regulations.

The project site's position on the Hudson River below the Troy Dam makes it vulnerable to tides, storm surge and sea level rise. The 2014 Climate Change in New York State Report² has utilized a global climate model to simulate climate projections for New York State including the specific region where the Kiliaen's Landing site is located:

² NYSERDA, "Climate Change in New York State, Updating the 2011 ClimAid Risk Information Supplement to NYSERDA Report 11-18 (Responding to Climate Change in New York State)", September 2014

POTENTIAL SEA LEVEL RISE		
	2020	2080
Temperature Increase	Low +1.7° High +3.7°	Low +4.1° High +11.4°
Precipitation Increase	Low -1% High +10%	Low +3% High +17%
Sea Level Rise*	Low +1” High +9	Low +10” High +54”

*Troy Dam

Based on the table above, one impact of sea level rise would be the that flood elevation currently associated with the 100 year flood could become four times more likely to occur. Any associated rapid ice melt in the Greenland and West Antarctic ice sheets would result in more pronounced seas level rise than shown above and further increases in the flood frequency.

The implications from a development perspective are that the entire project site could be flooded more frequently. This will require measures to protect buildings and infrastructure, the safety of people living, working, and recreating in this area, and perhaps off-set for flood storage in other areas, such as recreational areas.

STREAMS/RIVERS/WATER FEATURES

Two streams were also identified on site including a mapped perennial stream in the northern portion of the site. This perennial steam flows into and along the northeast boundary of the site, flows off-site and finally flows a short distance into the Hudson River. All waters of the State are provided a class and a standard designation based on the existing or anticipated best usage of the water. Streams that are designated with a classification standard of C(T) and higher (e.g., C(TS), B, A, AA) are regulated by the NYS Department of Environmental Conservation (NYSDEC) under the Protection of Waters Program (Article 15 of the Environmental Conservation Law), as are navigable waterways regardless of their water quality classification. This perennial stream within the project area is identified as a NYSDEC Class C, Standard C stream and is therefore not regulated by the State. The second stream is unmapped, unclassified, and appears to have intermittent flow. This stream flows west into the site through a culvert approximately 900 feet south of the Patroon Island Bridge and continues west into the Hudson River.

The U.S. Army Corps of Engineers (USACE) regulates all waters of the U.S. The two streams located in the project site meet the criteria of waters of the U.S. and are therefore regulated by USACE.

The Hudson River which forms the entire western boundary of the site is a NYSDEC Class C, Standard C waterbody. It is tidal in this location and part of the Hudson River Estuary. It is identified as a traditional navigable water by the US Army Corp of Engineers. Water resources on or adjacent to the site are mapped on Figure 7.

D. SITE ECOLOGY

WETLANDS

The presence of wetlands was investigated for the project site by first reviewing available wetland mapping, consisting of the US Fish and Wildlife Service (USFWS) National Wetland Inventory (NWI) Mapping and NYSDEC Environmental Resources Mapper (ERM). The NWI maps indicated that two mapped features occur within the site: the Hudson River which is mapped as a riverine system (R1UBV) along the entire western edge of the site (not a wetland) and one forested wetland (PFO1R) mapped just south of the Patroon Island Bridge. The ERM does not identify any mapped NYS-regulated Freshwater Wetlands (FWW) within the site. There is a FWW (Wetland TS-105, Class 2) mapped north of the site. Based on the wetland inventory that was conducted in December 2015, as discussed below, this wetland does not extend into the site.

Field visits were conducted on December 15 and 30, 2015 by CHA biologists to sketch wetlands and identify other potential constraints. The mild winter resulted in suitable conditions to conduct the investigation. Eight wetlands were identified onsite (Figure 8). The majority of the wetland is forested, red maple hardwood swamp and some areas resemble vernal pool habitat. Vernal pools are considered to be ecologically important because they provide critical breeding habitat for some amphibian species that only use vernal pool habitats for reproduction. Some emergent wetland is present and some contain the invasive/exotic common reed (*Phragmites australis*). The majority of the onsite wetlands drain to the Hudson River and are therefore considered federally-jurisdictional. However some of the wetlands appear to be hydrologically isolated and therefore may be considered non-jurisdictional. Their jurisdictional status will depend on several factors such as the relationship of the wetland functions and values with the Hudson River, proximity to the river and the status of the Clean Water Rule, which is currently being contended in the court system. Appendix A includes the site Ecology and Constraints memorandum and site photographs.

VEGETATIVE COMMUNITIES

As stated above the majority of the wetland habitat on site can be characterized as forested, red maple hardwood swamp. The upland ecological communities of the site consist mostly of deciduous floodplain forest of varying successional stages. These areas are concentrated in the area of the site south of Tracy Street and nearly the entire area north of the City boat launch.

Smaller areas include successional shrub land and successional old field in areas that have been previously disturbed or cleared. Information on wetlands and vegetative communities is provided on Figure 8.

THREATENED AND ENDANGERED SPECIES

The New York Natural Heritage Program (NHP) and the US Fish and Wildlife Service (USFWS) Information for Planning and Conservation (IPAC) online system were consulted to identify the potential for state and/or federally listed species in or surrounding Kiliaen's Landing. NHP records identified the following state listed animals on or near the site:

- Shortnose sturgeon (*Acipenser brevirostrum*) – endangered (NYS and federal) – within 0.5 mile of the site,
- Atlantic sturgeon (*Acipenser oxyrinchus*) – No Open Season (NYS), endangered (federal) – within 0.5 mile of the site,
- Cobra clubtail (*Gomphus vastus*) – unlisted, critically imperiled in NYS (NYS) – at the project site,
- Alewife floater (*Anodonta implicata*) – unlisted, critically imperiled in NYS – observed in a long stretch of the river, and
- Yellow lampmussel (*Lampsilis cariosa*) – unlisted, vulnerable in NYS. Hudson River Albany. Historic record.

The IPAC listing identified the Northern long-eared bat as threatened at the state and federal level. No critical habitats were identified on the site or its vicinity.

A detailed site habitat assessment will be conducted to determine if the appropriate habitat for the above listed species is present on site and if impacts would occur from any proposed activities.

Preliminarily, any water based development projects such as marinas, docking, piers, etc., would have the potential of impact the aquatic species listed above. With careful planning, water-based uses can be developed without significant impact. The predominance of trees within the project site could provide suitable habitat for the northern long-eared bat. The significance of the impact associated with removing trees for development will have to be evaluated. Critical parameters such as the proximity to known hibernacula and maternal roost trees will be identified. Winter tree removal (while the bats are hibernating) is generally accepted as a suitable means of avoiding any direct impacts to the bat.

E. CULTURAL RESOURCES

HISTORICAL AND ARCHEOLOGICAL

According to the NYS State Historic Preservation Office's Cultural Resource Information System (CRIS) web page nearly the entire site and surrounding area is considered sensitive for archeological resources. In addition the CRIS identified a complex known as the William Barnet & Son Shoddy Mill Complex located at 20 Forbes Avenue (Hilton Center). The following are buildings within that complex are eligible for listing on the National Register of Historic Places:

- Boiler House
- Rag Storage and Wool Drying Building
- Central Factory and Office Building
- Rag Storage Building
- Garnet House and Factory Building

Two structures on the south side of Forbes Avenue in proximity to the project site are listed on the National Register. These have been identified as the Patroon Agent's House and Office (15 Forbes Avenue) and the Clark-Dearstyne-Miller Inn (11-13 Forbes Avenue). The Livingston Avenue Bridge and viaduct which crosses the Hudson River immediately south of the site is also a National Register eligible site (See Figure 9 Cultural Resources Map).

Several studies have been conducted on or in proximity to the site that can provide information regarding the potential for cultural or historic resources. These include:

- Cultural Resources Reconnaissance Survey Report for the Livingston Avenue Bridge Rehabilitation/Replacement Project, 2011 which covers an area of the bridge and an area along the tracks north to Tracy Street.
- Phase 1 Cultural Resource Investigation for a proposed electric transmission project north of the Hilton Center complex.
- An Archeological survey was completed for an approximately 6 acre portion of the site located at the western end of Tracy Street and includes the 4 acre parcel of land in the vicinity of the Forbes Avenue Pump Station as part of an Environmental Impact Study completed in 1999 for the project known as Patriots Landing.

Consultation with SHPO will determine the extent of additional cultural resource for this site. Any additional information collected will be used in conjunction with existing known cultural resource

information to guide the location and methods of development on the site. The William Barnet & Son Shoddy Mill Complex could represent a unique opportunity for the adaptive reuse of this historic group of buildings.

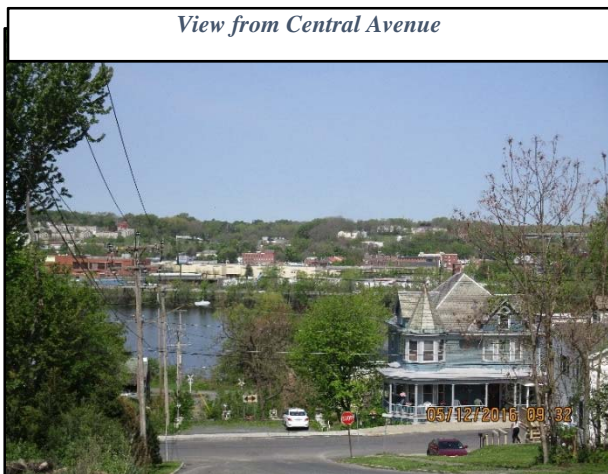
Future site specific development will be required to undergo further review with SHPO to determine if the specific site requires additional testing. Since most of the project area is archeologically sensitive, it is likely that the future projects will have to undergo Phase 1 Cultural Resources surveys to confirm presence/absence of cultural resources prior to local approval and any required permits.

VISUAL RESOURCES



View from McNaughton Avenue above First Street

project site provides views from the adjacent neighborhood and public ROW. Although the adjacent street networks rise above the river, the



View from Central Avenue

The site and the surrounding area provides expansive views to both the Albany skyline and north and south along the river. The City of Rensselaer LWRP specifically identifies the Forbes Avenue Boat Launch as one of several impressive scenic views along the Hudson River waterfront within the City. In addition the site will be visible from the surrounding neighborhood and from the Albany side of the Hudson River including the Corning Preserve.

Variation in topography in the vicinity of the existing built environment and vegetation screen direct river views in many locations. One exception is the overhead utility easement along Central Avenue which provides an excellent view corridor towards the Hudson River.

Site development may result in significant changes in views to the site and the River from the surrounding neighborhood and street network. The removal of vegetation to accommodate construction may result in additional views into the site and to the River. Site design should maximize and protect public

access to these views as well as maintain the existing views to the River from private property and the surrounding public ROW.

F. TRANSPORTATION AND SITE ACCESS

SITE ACCESS

Public vehicle and pedestrian site access is currently available in two locations. Forbes Avenue provides access to the City Boat Launch and the Hilton Center complex via an at-grade railroad crossing. The existing access at Tracy Street also traverses an at-grade railroad crossing and provides vehicle access to the sewage pump station. There is no other developed access from the adjacent street network to lands north of the City Boat Launch.



Site access from Forbes Avenue

Both Tracy Street and Forbes Avenue intersect with Broadway, a two-lane north-south road that traverses the City. Broadway connects with Washington Avenue and then to I-90 and the

Patroon Island Bridge to the north. To the south it provides a connection to Route 9 and the Dunn Memorial Bridge. Washington Avenue functions as a collector road; Tracy Street, Forbes Avenue and Broadway function as local roads.

Pedestrian and bike access to the site can be accomplished via the adjacent street network. Currently, there is no dedicated bike paths or trails that intersect or connect with the site.

The City of Rensselaer is served by the Capital District Transportation Authority (CDTA). Primary bus routes serve Washington Avenue, Broadway, Third Street, and the central business district. An intercity Mega bus operates from the train station, providing regular service to New York City and Ridgewood, NJ. Rental cars and taxis are also available at the station. The Albany-Rensselaer Rail Station is less than a mile from the site providing Amtrak passenger service to numerous destinations throughout the northeast and beyond, including the Empire Corridor. The Livingston Avenue Bridge crossing is a critical link in this Corridor connecting New York City to Schenectady and points as far west as Niagara Falls.

Circulation Patterns

With the exception of the Forbes Avenue Boat launch area there is no formalized internal pedestrian or non-motorized circulation developed on the site. Tax maps in this area delineate a paper street (River Road) traversing the site from south to north on RPI lands beginning at the City Boat Launch. Field reconnaissance identified the existence of non-maintained gravel trail that roughly aligns with the location of River Road on the tax map of this area. In addition to this gravel trail associated with River Road, a dirt roadway extends through the entire site associated with the CSX railroad and sewer lateral line.

A 2004 Study: *Rensselaer County Trail from the Livingston Avenue Bridge to the Troy-Menands Bridge* submitted to the Hudson River Greenway provides guidance for filling a critical gap in the trail system in Rensselaer County. The report identifies the potential location of a future trail that would traverse and/or be located adjacent to the project site; providing linkages to the overall Rensselaer County Trail system, including the RPI Technology Park and the western shore of the Hudson River and the Corning Preserve in the City of Albany via the Livingston Avenue Bridge. Completing this gap in the system will connect residents of the City of Rensselaer with natural settings along the Hudson River as well as some of the Capital Region's vital employment centers.

In regards to this 2004 Study, the City is currently in discussion with CSX railroad for the property to the south (Rensselaer Railyard) to obtain an easement for trail development along its waterfront. This would provide for the connection between DeLaet's Landing to the south, through the CSX property with connections north through the Kiliaen's Landing site continuing north to East Greenbush and the RPI Tech Park.

Site development will require that several access and circulation issues be addressed. Any significant increase in the site use or development will require coordination with CSX Railroad as it relates to improvements/changes to both at-grade Railroad crossings. A preliminary traffic impact analysis will be conducted during the Master Plan and Generic Environmental Impact Statement process.

G. UTILITIES

SANITARY SEWER & STORM SEWER

The City is served almost entirely by a public wastewater system; the project site is located in an area that includes both combined and separated sanitary and storm sewers. The combined sewer system discharges to the Rensselaer County Sewer District (RCSD) Trunk Sewer through a number of regulator structures, which regulate the amount of flow into the RCSD Trunk Sewer

and bypass excessive wet weather flows to the Hudson River. The RCSD Trunk Sewer conveys the sewage to the RCSD wastewater treatment plant in North Greenbush. The Forbes Avenue Pump Station is one of two pumping facilities in the City.

The Forbes Avenue Pump Station, originally constructed in 1972, was upgraded in 2015. Its design capacity is 17.2 million gallons per day (MGD); 1 MGD is currently allocated for future growth in the City.

There are four CSO discharge points on the project site south of the Forbes Avenue Boat Launch (CSO's 007 through 010). Contact with the City of Rensselaer CSO Operator indicates that separation projects at Forbes Avenue (Washington to Tracy Street (CSO's 009 and 010)) have been completed.

The Sewer and Stormwater Map (Figure 11) provides an overview of the system of sewer lateral lines and CSO lateral lines in the vicinity of the site.

WATER

All City properties are served by municipal water which the City purchases from the City of Troy Department of Public Utilities. In the site vicinity, the water supply extends as far as the Tracy Street/Forbes Avenue intersection; no lines extend into the site. In the area of Tracy Street the water line on Broadway is a 16" ductile iron pipe (DIP) and the pressure is approximately 115 PSI in this area. The water lines runs parallel to the site on Broadway in a southerly direction. A new 14" PVC line has been installed beginning at Pine Street serving areas south with an increased pressure approximately 10-15 PSI.

H. GREEN INFRASTRUCTURE

STORMWATER MANAGEMENT

The design of stormwater facilities for the proposed project shall meet the requirements of the NYS DEC State Pollution Discharge Elimination System (SPDES) General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002) and guidelines listed in the New York State Stormwater Management Design Manual (January 2015). The incorporation of green infrastructure (GI) techniques and practices should be considered for future development on the project site.

Since the uses envisioned for the project site are generally high density, urban waterfront uses, and the site is immediately adjacent to the Hudson River, the following approach is likely to be used to manage stormwater.

Typically, development projects that are in close proximity to a major river such as the Hudson are encourage to allow stormwater to drain to the river quickly, in order to time the discharge ahead of the peak flow from upstream. Therefore, stormwater detention (delaying discharge of storm flows from the site) will probably not be required. The focus, therefore, will be on addressing water quality by capturing and treating the initial volume of runoff that tends to carry the highest pollutant loads. Small basins may be required to do this but there are a number of green infrastructure methods that can be employed that will both reduce the amount of runoff and provide a level of treatment. Potential green infrastructure options were evaluated for general areas of the project site based on soil characteristics.

A preliminary review of the Hydrologic Soil Group (HSG) of the soils located on the southern portion of the site where new mixed residential and commercial buildings are proposed to be developed indicates that the following green infrastructure practices could be incorporated into the final design:

- Bioretention Basins
- Rain Gardens
- Infiltration Basins.
- Dry Swales
- Vegetated Swales
- Extensive and Intensive Green Roofs
- Permeable Pavers
- Porous Pavement stone storage reservoir layer and provides some pollutant uptake in the underlying soils.

Soils in the middle portion of the site are characterized as HSG "B". The following green infrastructure practices could be incorporated into the final design in this area which includes the potential redevelopment/improvement of the boat launch area and the revitalization/adaptive reuse of the Hilton Center:

- Bioretention Basins
- Vegetated Swales
- Dry Swales
- Rain Gardens

Based on the HSG "A" of the soils located on the northern portion of the project site, the following green infrastructure practices could be incorporated into the final design where the construction of

recreational sports fields and trails connecting to the Livingston Avenue Bridge are under consideration.

- Conservation of natural areas such existing wetlands and riparian buffers
- Underground infiltration systems under the recreational sports fields
- Porous pavers on the trails
- Dry Swales

Appendix B provides descriptions of site HSG's and potential green infrastructure techniques listed above.

VEHICLE CHARGING STATIONS

The potential for vehicle charging stations on the site will be reviewed upon the selection of a preferred land use concept for the site and will include consideration of site use, site demand and parking demand, as well any available information regarding numbers of electric vehicles in use in the Capital District.

SOLAR ENERGY

For planning purposes it is assumed that there is a potential for an on-site rooftop photovoltaic electrical generation system. Assuming that the proposed structure(s) will have approximately 100,000 sf of surface area for photovoltaic (PV) installation, and a factor of 0.004 kW/sf, it is estimated that the project will have an installed PV capacity of 400 kW. This system will result in an estimated system output range of 458,733 to 487,428 kWh annually based on the following:

- Use of the PV Watts Energy Calculator utilizing a weather data source from Albany, NY (8.0 miles from the site) with a latitude of 42.75°N and longitude of 73.8°W.
- The system's anticipated tilt of 10° which is consistent with the industry standard ballasted mounted system requiring no roof penetrations of the building. The azimuth was assumed to be 195° based upon the site's orientation off North.

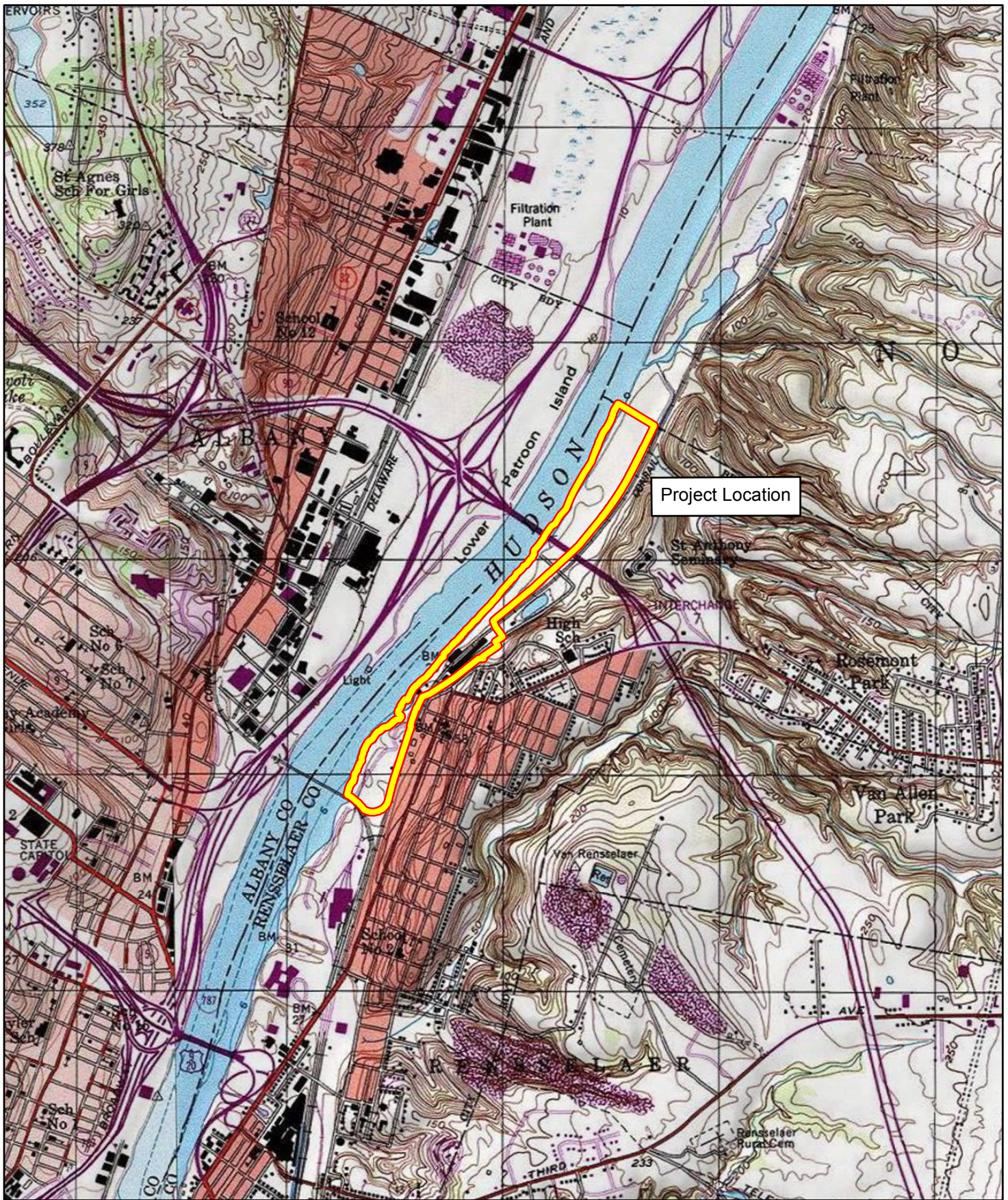
There are three key forms of photovoltaic installations: roof mounted, ground mounted, and canopy/parking garage mounted. The evaluation of development alternatives and identification of the chosen alternative will determine the photovoltaic viability of this site.

Kiliaen's landing consists of three main areas: recreational fields and trails in the northern part of the landing, city boat launch and parking area near to the Hilton historic middle section of the landing, and future developmental area in the southern portion of the landing. Understanding the layout and the three opportunities for photovoltaic resulted in the below analysis.

- Ground mounted opportunity: since the whole site is in a floodplain, a ground mounted photovoltaic installation is not recommended. Even though Kiliaen's landing includes recreation fields and trails with open space, this is also not a viable option for ground mounted photovoltaic installation.
- Roof mounted opportunity: the 400 kW evaluation for the proposed 100,000 sq. ft. buildings is the main photovoltaic opportunity for this site. This would be located in the future development area in the southern portion of the landing. The historical existing area near the Hilton Center will not be a suitable application due to the New York State Historic Preservation Office (SHPO) restrictions.
- Canopy mounted opportunity: Parking options for the site may include a paved parking lot with a photovoltaic canopy or a parking garage that could also have photovoltaic mounted installations on the top level of the parking deck. As long as there is not significant shading, a power source to connect to, and a large enough area to make the project cost effective, there may be a good opportunity for a photovoltaic canopy or parking garage photovoltaic installation.

The Kiliaen's Landing site, with its location along the banks of the Hudson River as well as its proximity to the City of Albany, major roadways and a myriad of community resources provides a unique opportunity for the City of Rensselaer to improve and strengthen its community. This site does not come without its challenges. The table below briefly identifies the opportunities and constraints associated with the development of this approximately 75 acre site.

KILIAEN'S LANDING OPPORTUNITIES AND CONSTRAINTS	
Opportunities	Constraints
Location- Riverfront/centrally located.	Multiple property owners
Appropriately Zoned	100-year floodplain
Views – Albany skyline, up and down the river	Wetlands – primarily north of boat launch
Public Access to waterfront- improved boat launch and trails system.	Soils (fill)
Potential Trail Connections- north to RPI tech park, south to DeLaet's Landing	Utility and Railroad ROW's
Availability of Utilities- sewer and water	Site access/Adjacent street network
Hilton Center- adaptive reuse of a historic building complex.	Hilton Center- costs related to adaptive reuse
Increase inventory of recreational facilities	Archeologically sensitive – entire site



Project Location

Figure 1

USGS Project Location Map

Kiliaen's Landing

City of Rensselaer, Rensselaer County, New York

Troy South USGS Quadrangle

Service Layer Credits:

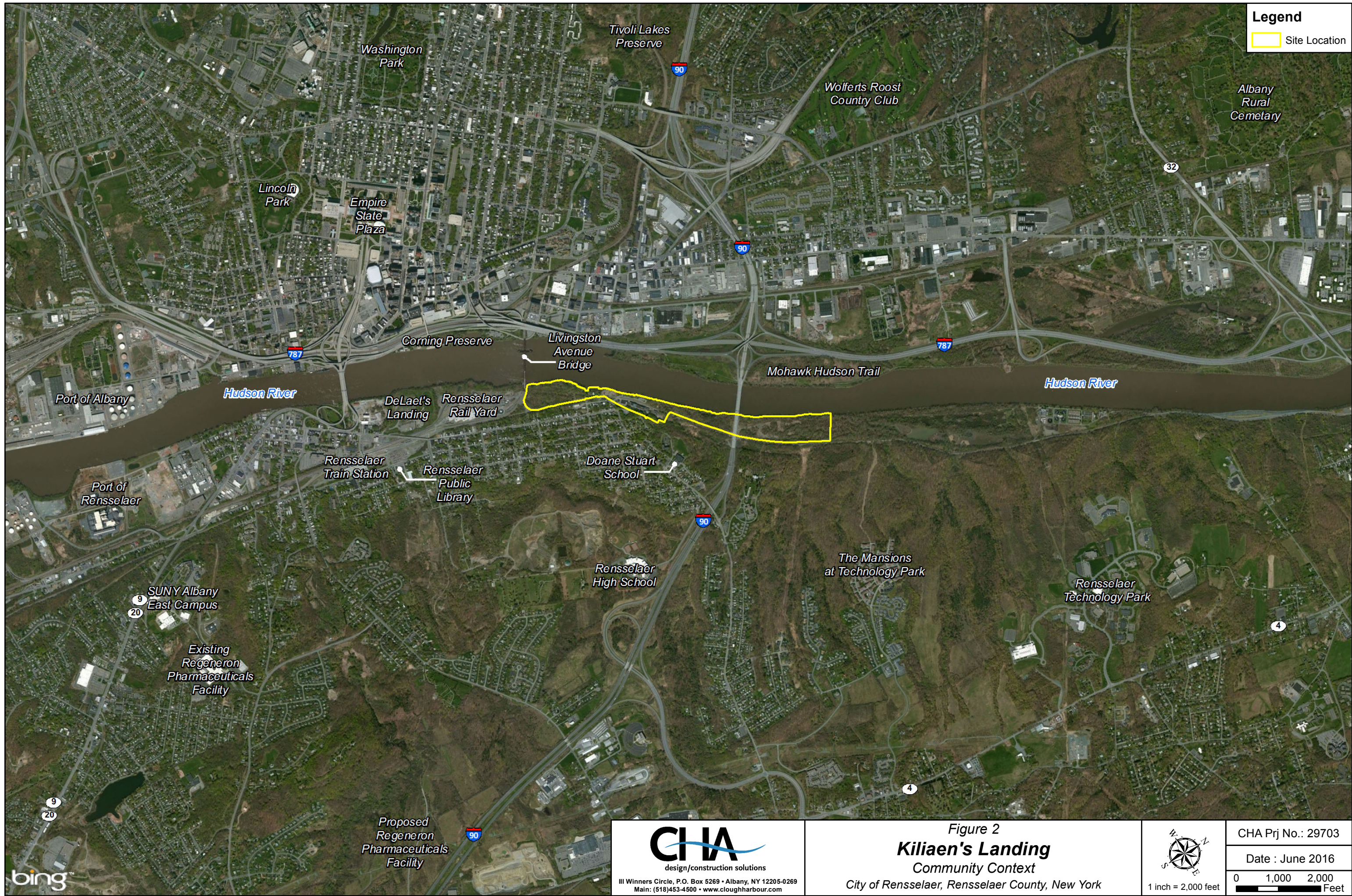
Copyright: © 2013 National Geographic Society, I-cubed

USGS Quadrangle Date: 1980



Scale 1" = 2000'

CHA No.
29703



Legend
 Site Location

CHA
 design/construction solutions
 111 Winners Circle, P.O. Box 5269 • Albany, NY 12205-0269
 Main: (518)453-4500 • www.cloughharbour.com

Figure 2
Kiliaen's Landing
 Community Context
 City of Rensselaer, Rensselaer County, New York

1 inch = 2,000 feet

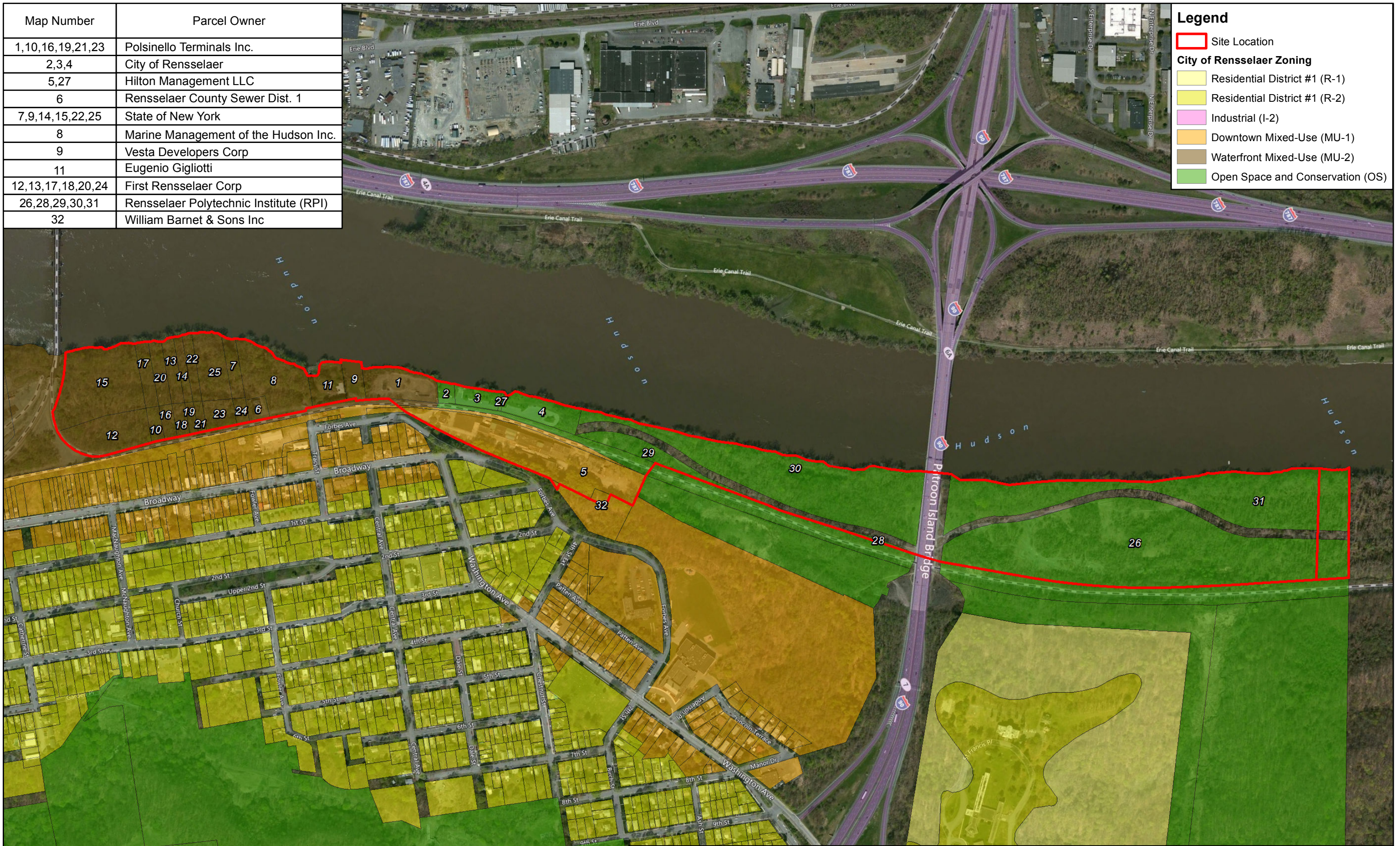
CHA Prj No.: 29703
 Date : June 2016
 0 1,000 2,000 Feet

bing

Map Number	Parcel Owner
1,10,16,19,21,23	Polsinello Terminals Inc.
2,3,4	City of Rensselaer
5,27	Hilton Management LLC
6	Rensselaer County Sewer Dist. 1
7,9,14,15,22,25	State of New York
8	Marine Management of the Hudson Inc.
9	Vesta Developers Corp
11	Eugenio Gigliotti
12,13,17,18,20,24	First Rensselaer Corp
26,28,29,30,31	Rensselaer Polytechnic Institute (RPI)
32	William Barnet & Sons Inc

Legend

- Site Location
- City of Rensselaer Zoning**
- Residential District #1 (R-1)
- Residential District #1 (R-2)
- Industrial (I-2)
- Downtown Mixed-Use (MU-1)
- Waterfront Mixed-Use (MU-2)
- Open Space and Conservation (OS)



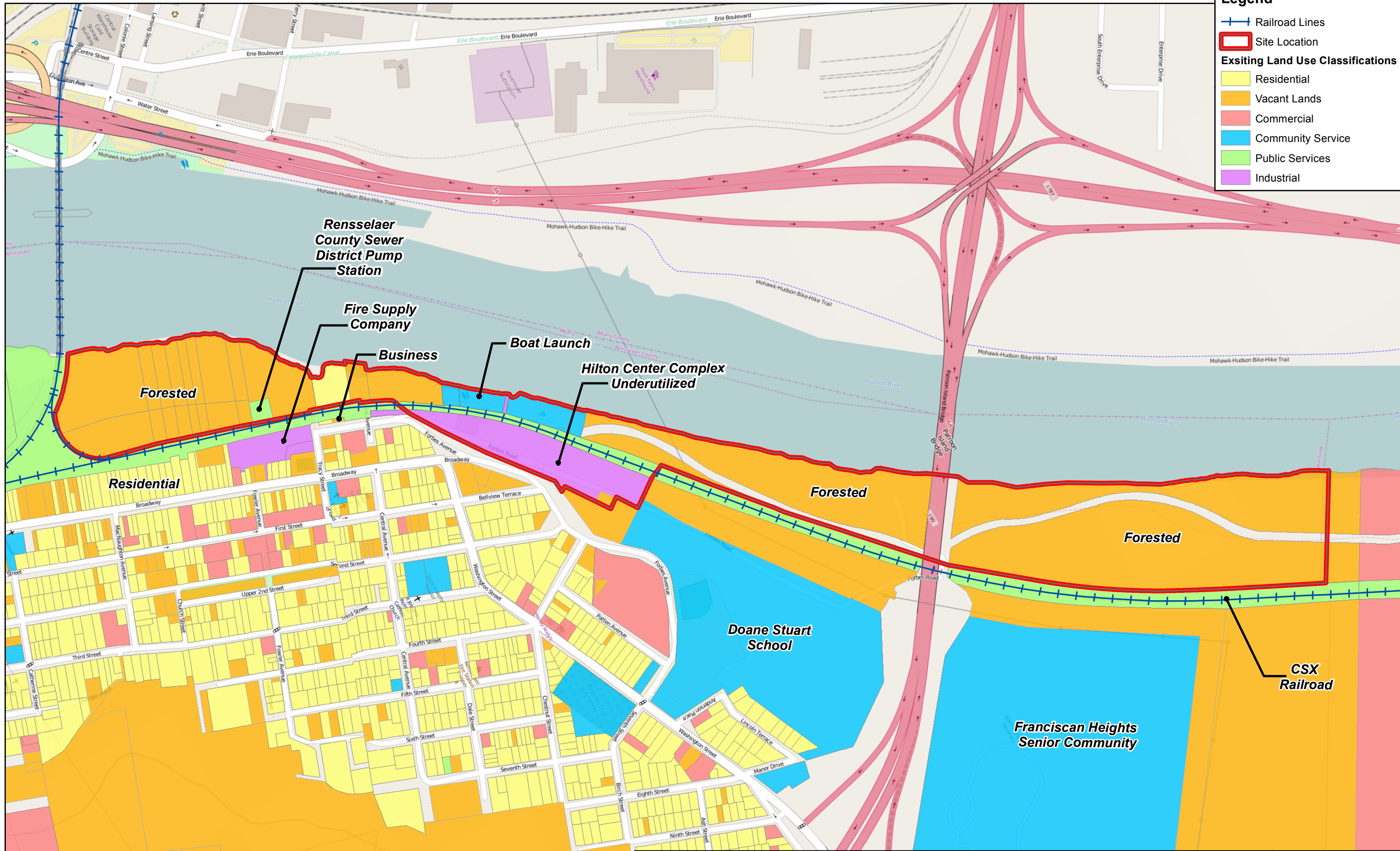
CHA
 design/construction solutions
 111 Winners Circle, P.O. Box 5269 • Albany, NY 12205-0269
 Main: (518)453-4500 • www.cloughharbour.com

Figure 3
Kiliaen's Landing
 Zoning and Parcel Ownership
 City of Rensselaer, Rensselaer County, New York

1 inch = 500 feet

CHA Prj No.: 29703
 Date : June 2016
 0 250 500 Feet





Legend

- Railroad Lines
- Site Location
- Existing Land Use Classifications**
- Residential
- Vacant Lands
- Commercial
- Community Service
- Public Services
- Industrial

**Rensselaer
County Sewer
District Pump
Station**

**Fire Supply
Company**

Business

Boat Launch

**Hilton Center Complex
Underutilized**

Forested

Residential

Forested

Forested

**Doane Stuart
School**

**CSX
Railroad**

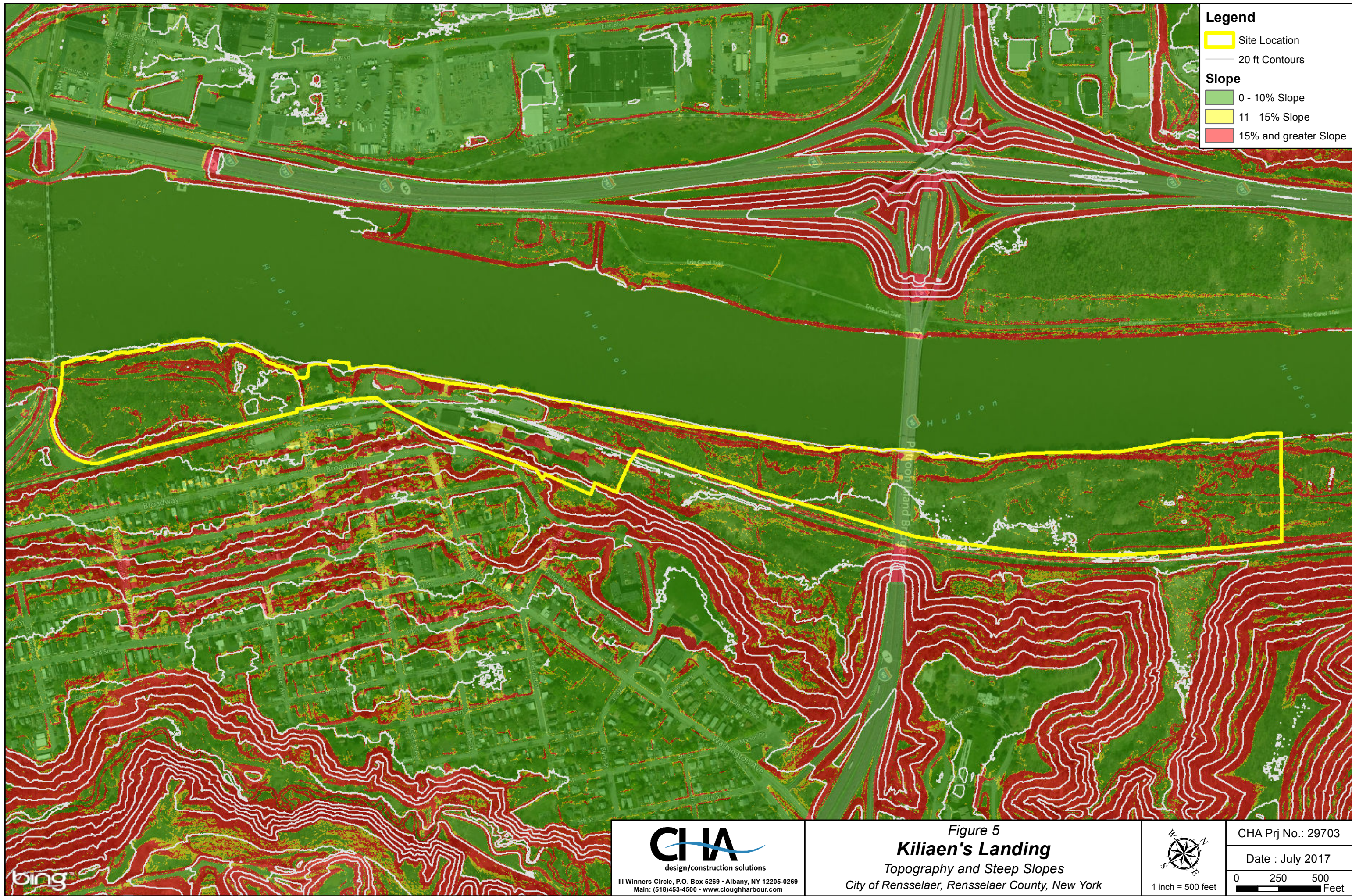
**Franciscan Heights
Senior Community**

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Figure 4
Kiliaen's Landing
Existing Land Use
City of Rensselaer, Rensselaer County, New York

1 inch = 500 feet

CHA Prj No.: 29703
Date : June 2016
0 250 500 Feet



Legend

- Site Location
- 20 ft Contours

Slope

- 0 - 10% Slope
- 11 - 15% Slope
- 15% and greater Slope

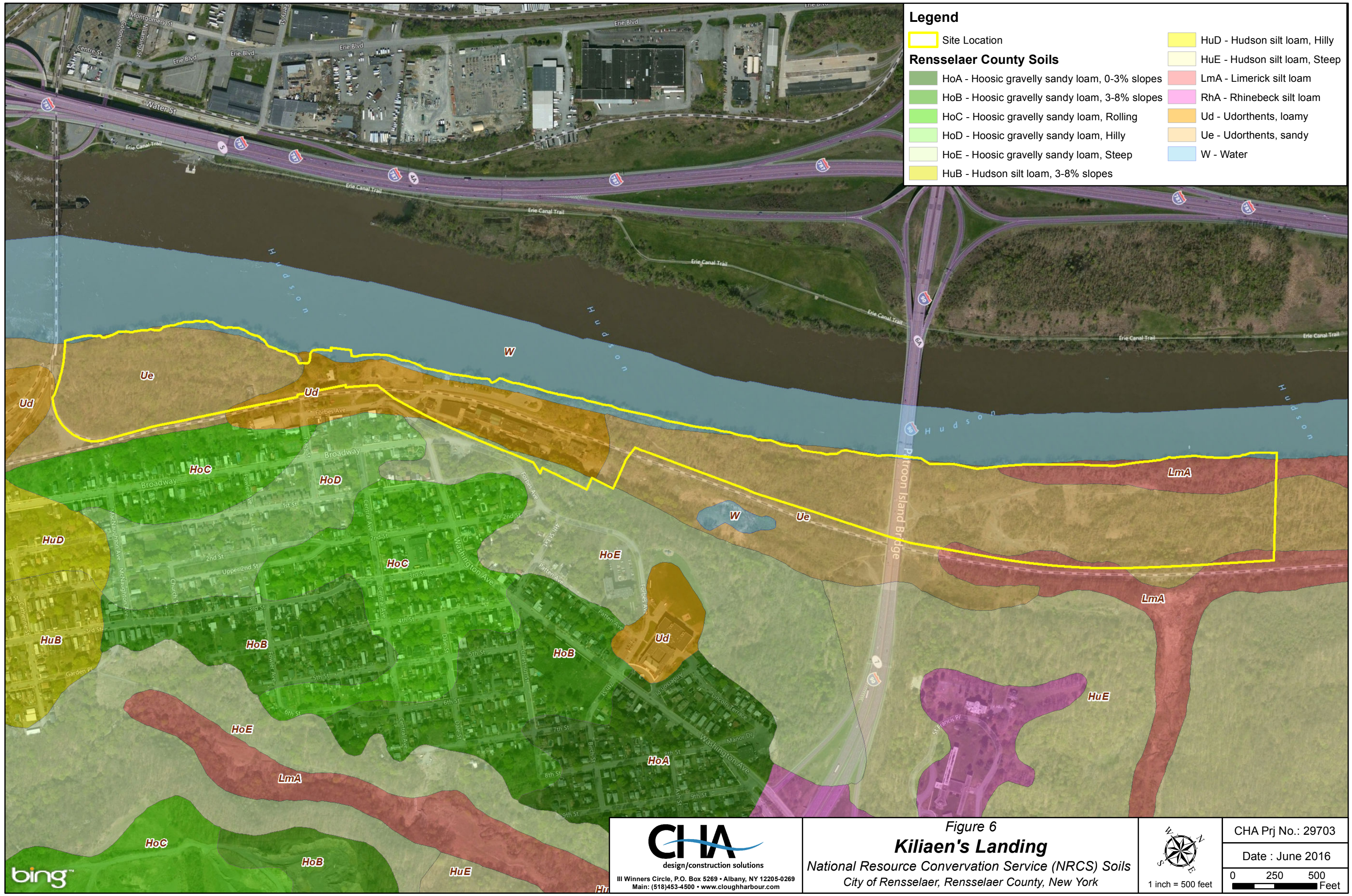
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Figure 5
Kiliaen's Landing
 Topography and Steep Slopes
 City of Rensselaer, Rensselaer County, New York

1 inch = 500 feet

CHA Prj No.: 29703
 Date : July 2017

bing



Legend

Site Location

Rensselaer County Soils

- HoA - Hoosic gravelly sandy loam, 0-3% slopes
- HoB - Hoosic gravelly sandy loam, 3-8% slopes
- HoC - Hoosic gravelly sandy loam, Rolling
- HoD - Hoosic gravelly sandy loam, Hilly
- HoE - Hoosic gravelly sandy loam, Steep
- HuD - Hudson silt loam, Hilly
- HuB - Hudson silt loam, 3-8% slopes

- HuE - Hudson silt loam, Steep
- LmA - Limerick silt loam
- RhA - Rhinebeck silt loam
- Ud - Udorthents, loamy
- Ue - Udorthents, sandy
- W - Water

Figure 6

Kiliaen's Landing

National Resource Conservation Service (NRCS) Soils
City of Rensselaer, Rensselaer County, New York



CHA Prj No.: 29703

Date : June 2016

0 250 500 Feet

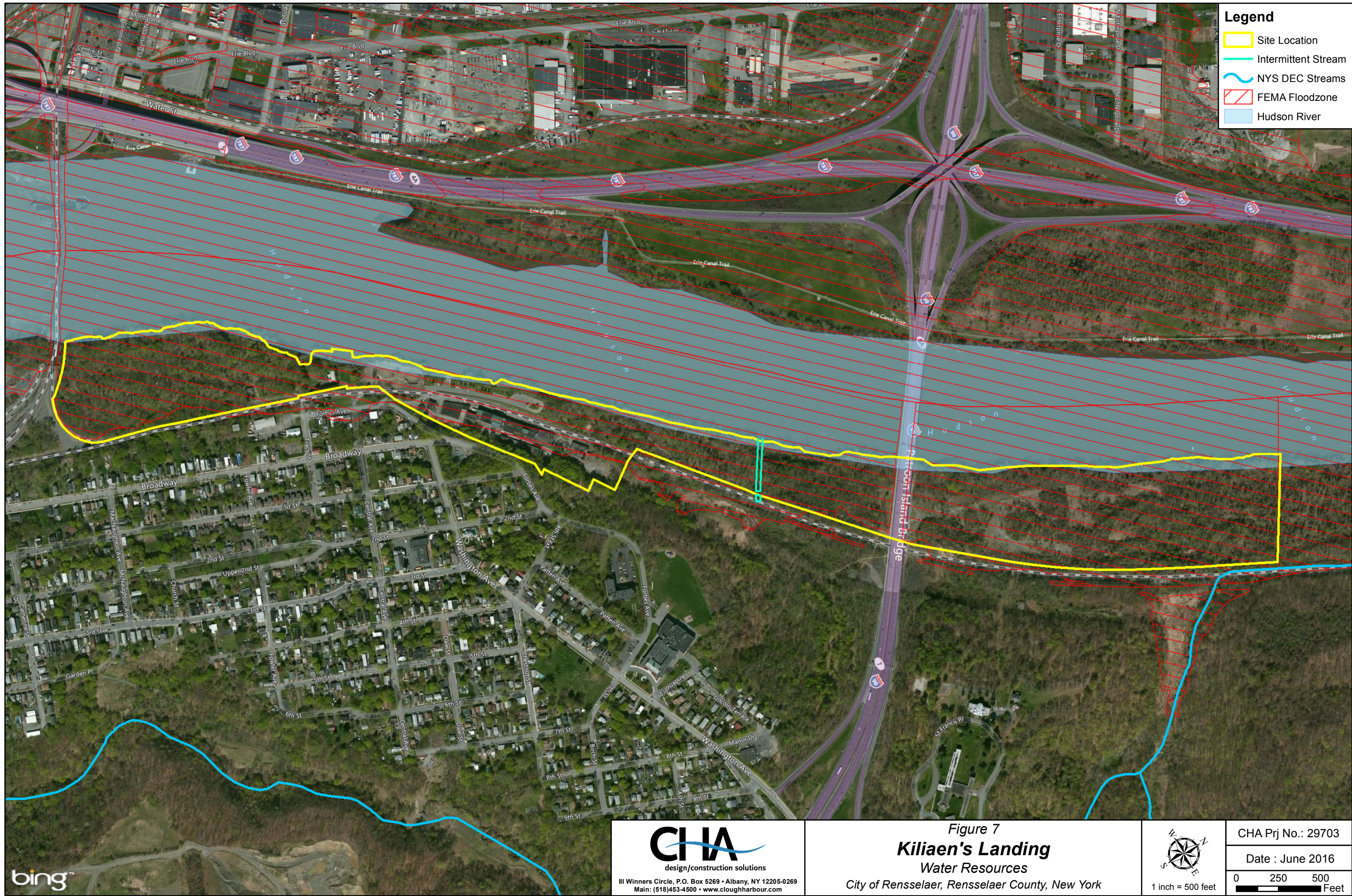
1 inch = 500 feet



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Figure 7
Kiliaen's Landing
 Water Resources
 City of Rensselaer, Rensselaer County, New York



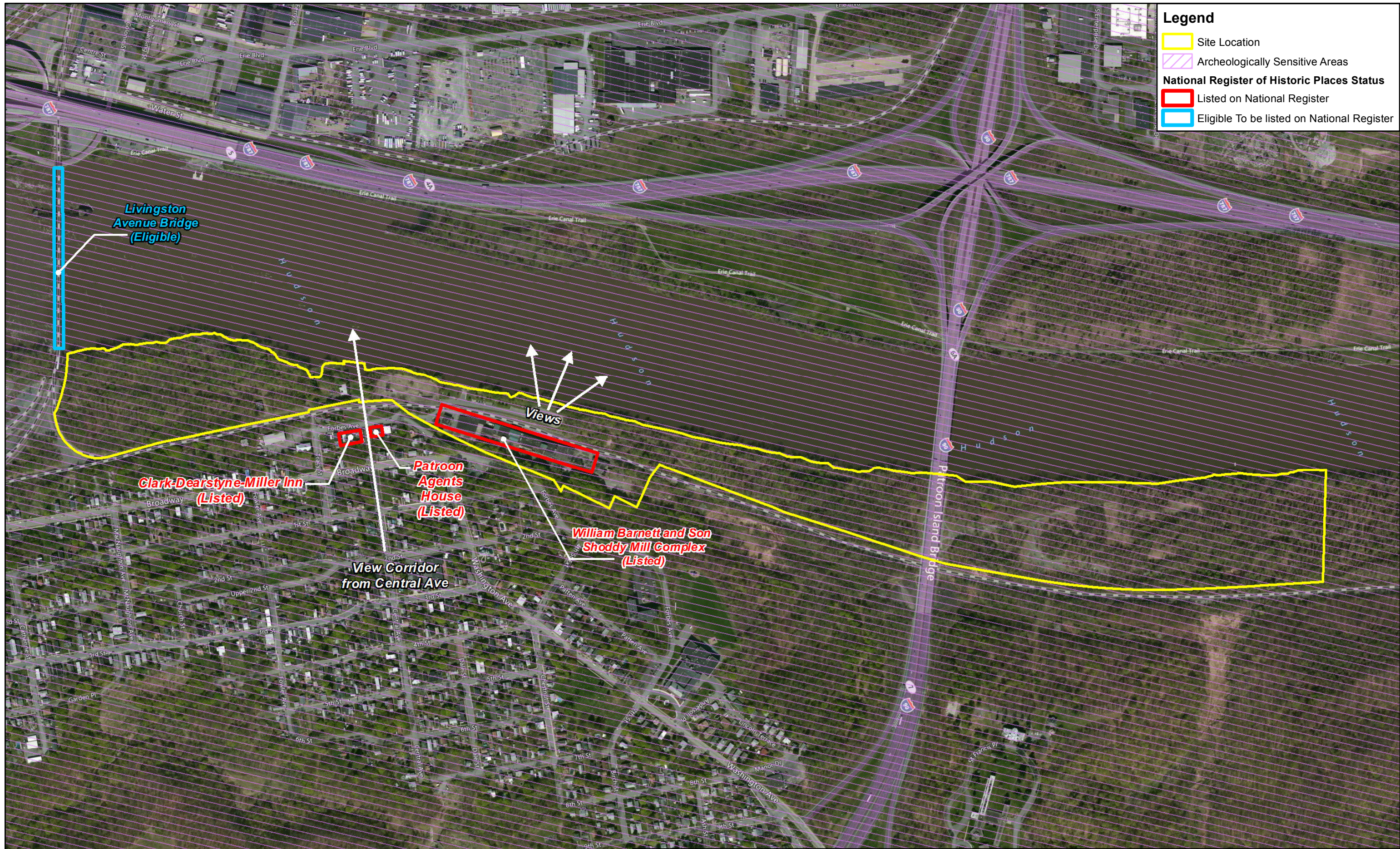
1 inch = 500 feet

CHA Prj No.: 29703

Date : June 2016

0 250 500 Feet





Legend

- Site Location
- Archeologically Sensitive Areas

National Register of Historic Places Status

- Listed on National Register
- Eligible To be listed on National Register

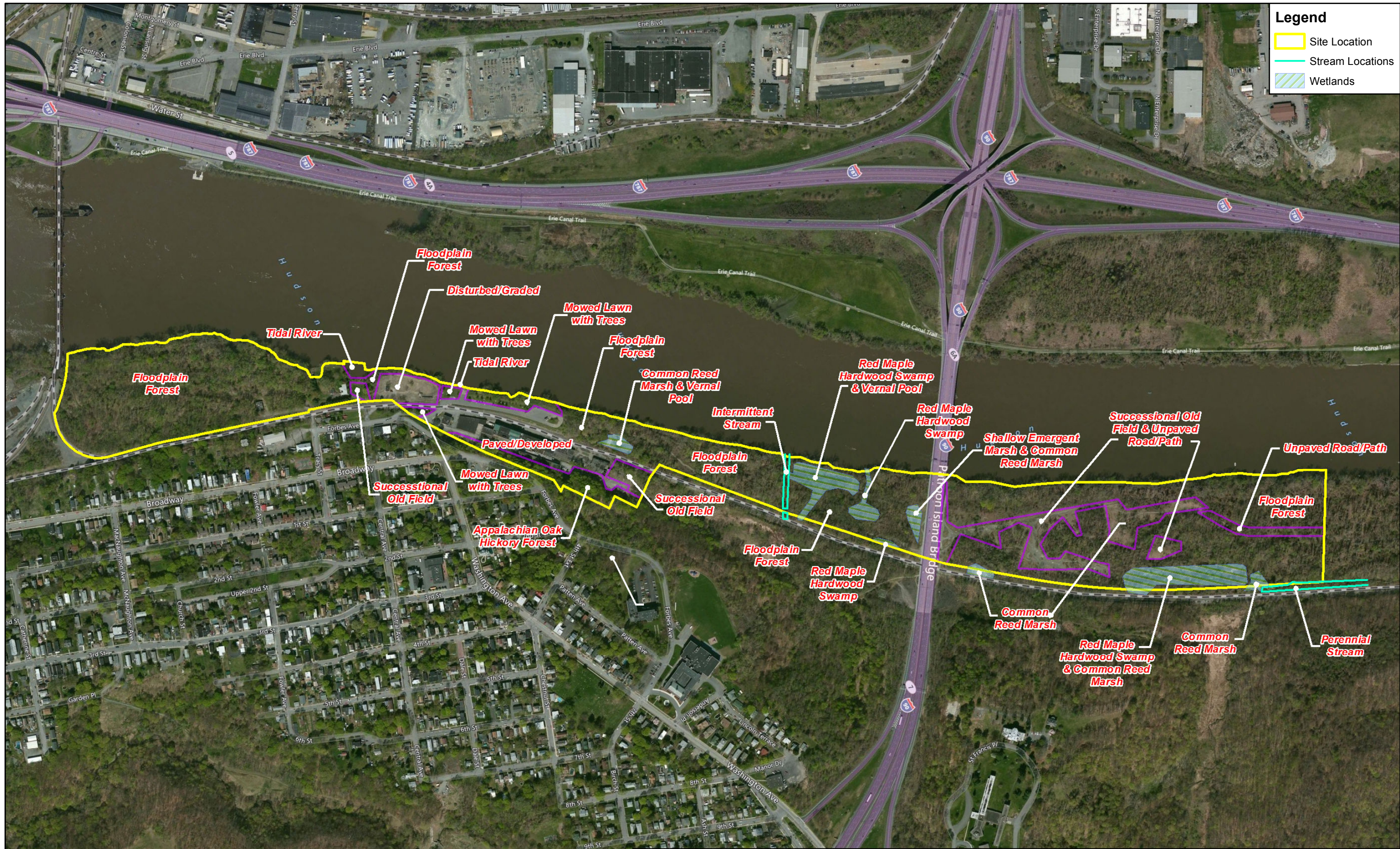
bing

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Figure 9
Kiliaen's Landing
 Cultural and Aesthetic Resources
 City of Rensselaer, Rensselaer County, New York

1 inch = 500 feet

CHA Prj No.: 29703
 Date : June 2016
 0 250 500 Feet



Legend

- Site Location
- Stream Locations
- Wetlands

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Figure 8
Kiliaen's Landing
 Wetlands and Vegetative Communities
 City of Rensselaer, Rensselaer County, New York

CHA Prj No.: 29703
 Date : June 2016
 0 250 500 Feet
 1 inch = 500 feet



Legend

- Site Location
- Storm Inlet
- ⬡ Storm Manhole
- Storm Lateral Line
- CSO Discharge Point
- CSO Manhole
- CSO Lateral Line
- ⬡ Sewer Manhole
- Sewer Lateral Line



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Figure 10
Kiliaen's Landing
 Sanitary and Storm Sewer Lines
 City of Rensselaer, Rensselaer County, New York



1 inch = 500 feet

CHA Prj No.: 29703
 Date : June 2016
 0 250 500 Feet



Appendix A
Site Ecology & Constraints Memorandum



CHA
Interoffice Memorandum

To: Jean Loewenstein, Senior Planner

CC:

From: John Greaves, Senior Scientist

Date: March 21, 2016

Re: Kiliaen's Landing Site Ecology and Constraints

A desktop review of potential site constraints identified the following:

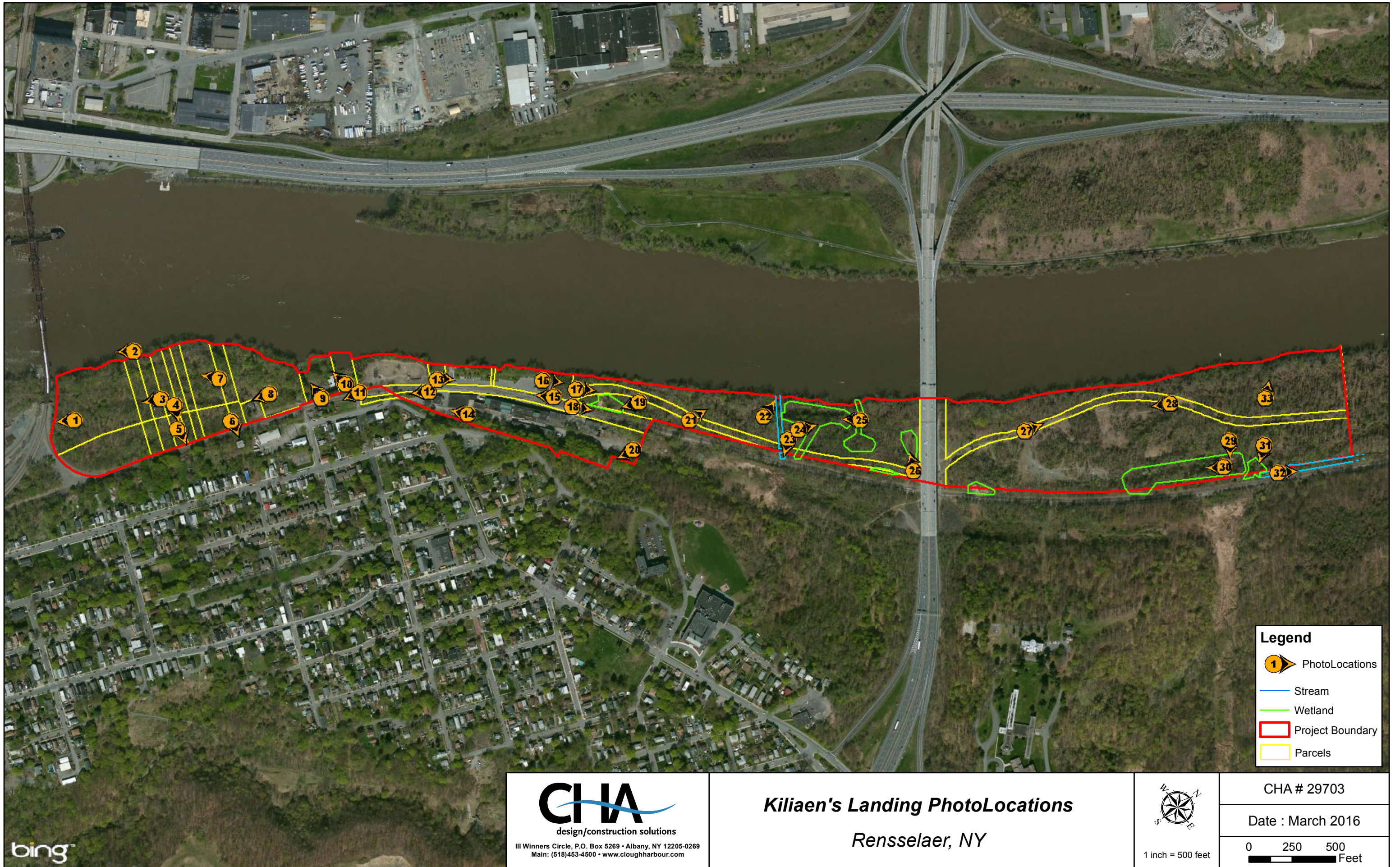
- Based on review of the New York State Office of Parks, Recreation and Historic Preservation (NYSOPRHP) Cultural Resources Information System (CRIS) much of the site occurs within an area identified as archaeologically sensitive. Additionally, there are five buildings associated with the Hilton Center at 20 Forbes Avenue that are identified as eligible for listing. Therefore a cultural resources survey will likely be required.
- The US Fish and Wildlife Service (USFWS) National Wetland Inventory (NWI) Map shows two mapped features occurring within the site - the Hudson River is mapped as a riverine system (R1UBV) along the entire west side of the site and one forested wetland (PFO1R) is mapped just south of the Interstate 90 bridge.
- Review of the New York State Department of Environmental Conservation (NYS DEC) Environmental Resources Mapper (ERM) identified that there are no mapped NYS-regulated Freshwater Wetlands (FWW) within the site. There is one FWW (Wetland TS-105, Class 2) mapped north of the site. Its check zone extends southward from the wetland and is in close proximity to the northern site boundary. Based on the wetland inventory that was conducted in December 2015, as later discussed, this wetland does not extend into the site.
- Review of the ERM identified that there is one mapped stream that flows through the northern end of the site. This unnamed perennial tributary to the Hudson River is identified as Class C, Standard C. Its location was sketched during the December 2015 site visit and is consistent with what is shown on the ERM.
- The Hudson River at the site is tidal and is identified as Class C, Standard C. It is also a traditional navigable waters (TNW).
- Review of the Federal Emergency Management Agency (FEMA) floodplain mapping identified that the site occurs within the 100 year floodplain of the Hudson River.
- A January 21, 2016 response letter from the New York Natural Heritage Program (NHP) identified the following state-listed animals and plants occurring at or near the site (this is sensitive information not to be released in public documents):
 - Shortnose sturgeon (*Acipenser brevirostrum*) – endangered (NYS and federal) – within 0.5 mile of the site,

- Atlantic sturgeon (*Acipenser oxyrinchus*) – No Open Season (NYS), endangered (federal) – within 0.5 mile of the site,
- Cobra clubtail (*Gomphus vastus*) – unlisted, critically imperiled in NYS (NYS) – at the project site,
- Alewife floater (*Anodonta implicata*) – unlisted, critically imperiled in NYS – observed in a long stretch of the river, and
- Yellow lampmussel (*Lampsilis cariosa*) – unlisted, vulnerable in NYS. Hudson River Albany. Historic record.
- The USFWS Information for Planning and Conservation (IPaC) online system was used to obtain an Official Species List of federally-listed threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat for the site. That list (Consultation Code: 05E1NY00-2016-E-01403), dated December 29, 2015, identified:
 - Northern long-eared bat (*Myotis septentrionalis*) – threatened (NYS and federal), and
 - There are no critical habitats within the project area.
- An assessment will be required to identify if habitat for the listed species is present and if impacts to the listed species may result from proposed activities.


The site was traversed on December 15 and 30, 2015 by CHA biologists to sketch wetlands and identify other potential constraints. This effort identified the following:

- Eight wetlands were sketched onsite. The majority of the wetland is forested, red maple hardwood swamp and some areas resemble vernal pool habitat. Vernal pools are considered to be ecologically important because they provide critical breeding habitat for some amphibian species that only use vernal pool habitats for reproduction. Some emergent wetland is present and some contain the invasive/exotic common reed (*Phragmites australis*). The majority of the onsite wetland drains to the Hudson River so it will be considered federally-jurisdictional. However some of the wetlands appear to be hydrologically isolated and therefore may be considered non-jurisdictional. Their jurisdictional status will depend on the status of the Clean Water Rule at the time this project goes through the permitting process because the revised Clean Water Rule, which is currently being contended in the court system, would consider these wetlands jurisdictional because they are within 1000' of the Hudson River and they are within its floodplain.
- Two streams are present onsite:
 - One, as previously discussed, is a mapped perennial stream (NYS DEC Class C, Standard C) in the northern portion of the site. This stream flows into and along the northeast boundary of the site. It then flows off-site and continues a short distance to where it flows into the Hudson River.
 - The second is an unmapped stream that is at least intermittent, but may be perennial. This stream flows west into the site through a culvert approximately 900 feet south of the Patroon Island Bridge. The stream flows west through the site and into the Hudson River.
- The Hudson River (NYS DEC Class C, Standard C) occurs along the entire western boundary of the site. Its banks were not sketched. This stretch of the Hudson is tidal and part of the Hudson River Estuary.
- The upland ecological communities of the site consists mostly of deciduous floodplain forest of varying successional stages. Minor components consist of successional shrubland and successional old field in areas that have been disturbed/cleared of trees.
- Developed areas consist of residential and commercial properties and associated paved areas.
- Numerous trails are also present.
- A formal delineation of the wetland, stream and river boundaries would be required if the project is to be progressed through a permitting process.

Please refer to the attached photographs and associated photo location map.




Legend

-  PhotoLocations
-  Stream
-  Wetland
-  Project Boundary
-  Parcels

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Kiliaen's Landing PhotoLocations
 Rensselaer, NY


 1 inch = 500 feet

CHA # 29703
 Date : March 2016
 0 250 500
 Feet



Photo 1 – Typical view of the floodplain forest in the southern end of the site.



Photo 2 – Typical view of the Hudson River bank.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 3 – Cleared area in the southern portion of the site.



Photo 4 – Typical view of the floodplain forest.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 5 – Remains of a building.



Photo 6 – View of an old structure offsite.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 7 – View of the floodplain forest and Hudson River.



Photo 8 – View of the cleared area through the southern portion of the site and surrounding floodplain forest.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 9 – View of the onsite residential property.



Photo 10 – View of a mowed area.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 11 – View looking south along the railroad tracks and property boundary.



Photo 12 – View looking north along the railroad tracks and property boundary.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 13 – View of the developed portions of the site, boat ramp & historic Hilton Center building.



Photo 14 – View looking south.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 15 – View looking south.



Photo 16 – View looking north at floodplain forest from the parking area.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 17 – View looking north along the existing trail.



Photo 18 – View of a common reed marsh.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 19 – View of a vernal pool.



Photo 20 – View looking south of developed areas and a steep forested slope.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 21 – View of dense shrub growth within the floodplain forest.



Photo 22 – View of the small unnamed tributary to the Hudson River where it flows into the Hudson.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 23 – View of where the small unnamed tributary to the Hudson flows into the site.



Photo 24 – View of a forested wetland.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 25 – View of the vernal pool portion of the forested wetland.



Photo 26 – View of a common reed marsh.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 27 – Typical view of trails and vegetated areas of varying successional stages, looking north.



Photo 28 – Typical view of trails and vegetated areas of varying successional stages, looking south.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 29 – View of a common reed marsh habitat.



Photo 30 – View of a common reed marsh habitat with forested wetland in the background.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 31 – View of inundated wetland with vernal pool characteristics.



Photo 32 – Typical view of the mapped perennial tributary to the Hudson River.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**



Photo 33 – Typical view of the floodplain forest in the northern portion of the site.



SITE PHOTOGRAPHS

**Kiliaen's Landing
City of Rensselaer, Rensselaer Co., NY**

Attachment B
Green Infrastructure

APPENDIX B

GREEN INFRASTRUCTURE (STORMWATER MANAGEMENT) DESIGN

The design of stormwater facilities for the proposed project shall meet the requirements of the New York State DEC State Pollution Discharge Elimination System (SPDES) General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002) and guidelines listed in the New York State Stormwater Management Design Manual (January 2015). The design of green infrastructure (GI) techniques and practices will be evaluated and incorporated in the project Stormwater Pollution Prevention Plan (SWPPP) and final design site plans.

The first step in planning for stormwater management using green infrastructure is to avoid or minimize land disturbance by preserving natural resources and maintaining the existing drainage patterns of the project site. The proposed development should be strategically placed on the site to preserve natural features with the following conservation design practices.

- Preservation of Undisturbed Areas
- Preservation of Buffers
- Reduction of Clearing and Grading
- Locating Development in Less Sensitive Areas
- Open Space Design
- Soil Restoration

In accordance with the NYS Stormwater Management Design Manual (January 2015), further reduction in the water quality volume (WQv) shall be designed to reduce the total amount of runoff leaving the project site and to replicate pre-development hydrology. This volumetric reduction is defined as the Runoff Reduction Volume (RRv). Runoff reduction shall be achieved by infiltration, groundwater recharge, reuse, recycle, evaporation or evapotranspiration of 100% of the post-development water quality volumes to replicate pre-development hydrology by maintaining pre-construction infiltration, peak runoff flow, discharge volume, as well as minimizing concentrated flow by using runoff control techniques to provide treatment in a distributed manner before runoff reaches the collection system. This requirement can be accomplished by application of on-site green infrastructure techniques, standard stormwater management practices with runoff reduction capacity, and good operation and maintenance. Runoff reduction can be achieved by three methods: reduction of contributing drainage area, reduction of runoff volume through practice storage, and using standard stormwater practices with runoff reduction capacity.

Projects that cannot meet 100% of runoff reduction requirement must provide a justification that evaluates each of the green infrastructure planning and reduction techniques, and identifies the specific limitations of the site according to which application of this criterion is technically infeasible. Implementation of green infrastructure cannot be considered infeasible unless physical constraints, hydraulic conditions, soil testing,

existing and proposed slopes, or other existing technical limitations are objectively documented. And determination of application of none of the runoff reduction options is feasible may not be based on the cost of implementation measures or lack of space for required footprint of the practice.

Project that do not achieve runoff reduction to pre-construction condition must, at a minimum reduce a percentage of the runoff from impervious areas to be constructed on the site. The percent reduction is based on the Hydrologic Soil Group(s) (HSG) of the site and is defined as Specific Reduction Factor (S) and is defined as the following list.

- HSG A = 0.55 (55%)
- HSG B = 0.40 (40%)
- HSG C = 0.30 (30%)
- HSG D = 0.20 (20%)

Based on a review of the USDA Soil Survey of Rensselaer County, New York, soils on the project site are described in the following list (see Figure – USDA Soils Classification Map). A summary of the soil composition is shown in the table below.

Table 1 - Soil Analysis Summary

Soil Name	Hydrologic Soil Group
HoC, HoD, HoE – Hoosic gravelly sandy loam	A
HuE – Hudson silt loam, steep	C/D
LmA – Limerick silt loam, 0 - 3% slopes	B/D
Ud – Udorthents, loamy	B
Ue – Udorthents, sandy	A

The Natural Resource Conservation Service (NRCS, formerly known as the SCS), as part of their soil classification system, assigns each soil series to a Hydrologic Soil Group (HSG). The HSG is a four-letter index intended to indicate the minimum rate of infiltration obtained after prolonged wetting, and to indicate the relative potential for a soil type to generate runoff. The infiltration rate is the rate at which water enters the soil at the soil surface. The HSG also indicates the transmission rate – the rate at which water moves within the soil. Soil scientists define the four groups as follows:

- HSG ‘A’ (sand, loamy sand, or sandy loam): Soils have low runoff potential and high infiltration rates even when thoroughly wetted. They consist chiefly of deep, well to excessively drained sands or gravels and have a high rate of water transmission (> than 0.30 inches/hour).

- HSG 'B' (silt loam or loam): Soils have moderate infiltration rates when thoroughly wetted, and consist chiefly of moderately deep to deep, moderately well to well drained soils with moderately fine to fine texture. These soils have a moderate rate of water transmission (0.15 to 0.30 inches/hour).
- HSG 'C' (sandy clay loam): Soils have low infiltration rates when thoroughly wetted and consist chiefly of soils with a layer that impedes downward movement of water, and soils with moderately fine to fine texture. These soils have a low rate of water transmission (0.05 to 0.15 inches/hour).
- HSG 'D' (clay loam, silty clay loam, sandy clay, silty clay, or clay): Soils have high runoff potential. They have very low infiltration rates when thoroughly wetted, and consist chiefly of clay soils with a high swelling potential, soils with a permanent high water table, soils with a clay pan or clay layer at or near the surface, and shallow soils over nearly impervious material. These soils have a very low rate of water transmission (< 0.05 inches/hour).
- If a soil is classified to a dual hydrologic group (A/D, B/D, or C/D), the first letter represents drained conditions and the second letter represents undrained conditions.

According to the HSG of the soils located on the project site and the type of construction work proposed to be installed on site, all green infrastructure design options should be evaluated and considered to meet the runoff reduction requirements for the new impervious areas located within the drainage areas. The following green infrastructure practices could be incorporated into the final design of the southern portion of the site where new mixed residential and commercial buildings are proposed to be developed.

- Bioretention Basins – Consist of shallow basin areas with plantings and landscaping which utilizes engineered soil media and vegetation to capture and treat stormwater. Runoff from impervious areas is directed into the Bioretention basin where water infiltrates through plantings, mulch, and soil media providing water quality treatment and reducing runoff volume.
- Rain Gardens – Consist of shallow depressions intended to manage and treat small volumes of runoff from impervious surfaces (usually roof drains and driveways) utilizing engineered soil media and vegetation to store and treat stormwater. Rain gardens are a smaller and simplified version of bioretention and are usually designed as a passive filter system without an underdrain system. Rain gardens are more commonly used in residential neighborhoods.
- Infiltration Basins – Consist of excavated depressions used to capture and allow infiltration of stormwater into the surrounding soils from the bottom and sides of the basin.
- Dry Swales – Consist of vegetated grass drainage channels that are designed and constructed with stone check dams to capture and treat stormwater runoff. Dry swales are typically 2 to 8 foot wide on the bottom with 2.5 feet of underlying permeable soil media and underdrain system underneath.

- Vegetated Swales – Consist of vegetated channels that are specifically designed to convey stormwater at a low velocity and promote treatment and infiltration into the native underlying soils. A minimum length of 100 linear feet is required to provide sufficient water quality treatment volume and provide stormwater conveyance and retention.
- Extensive and Intensive Green Roofs – Consist of removable trays or containers of pre-grown vegetation and soil installed on top of a conventional flat or sloped roof. Stormwater runoff are captured by the vegetation and stored underneath in the thin soil layer to allow evaporation and evapotranspiration processes to reduce runoff volumes and attendant peak flows. Green roofs are commonly used for commercial buildings. The roof structure of the building should be designed to support the weight of the green roof system with loading rate of 16 to 200 lb/sf.
- Permeable Pavers – Consist of interlocking blocks or concrete grid pavers containing regularly interspersed void areas, which are filled with gravel or sod. The area of application must overlay well drained, highly permeable soils (HSG A or B).
- Porous Pavement – Consist of pervious types of pavement that provide an alternative to conventional paved surfaces. Porous pavements are designed to capture, infiltrate and/or manage small frequent storm events. Stormwater runoff drains through the porous surface into underlying stone storage reservoir layer and provides some pollutant uptake in the underlying soils.

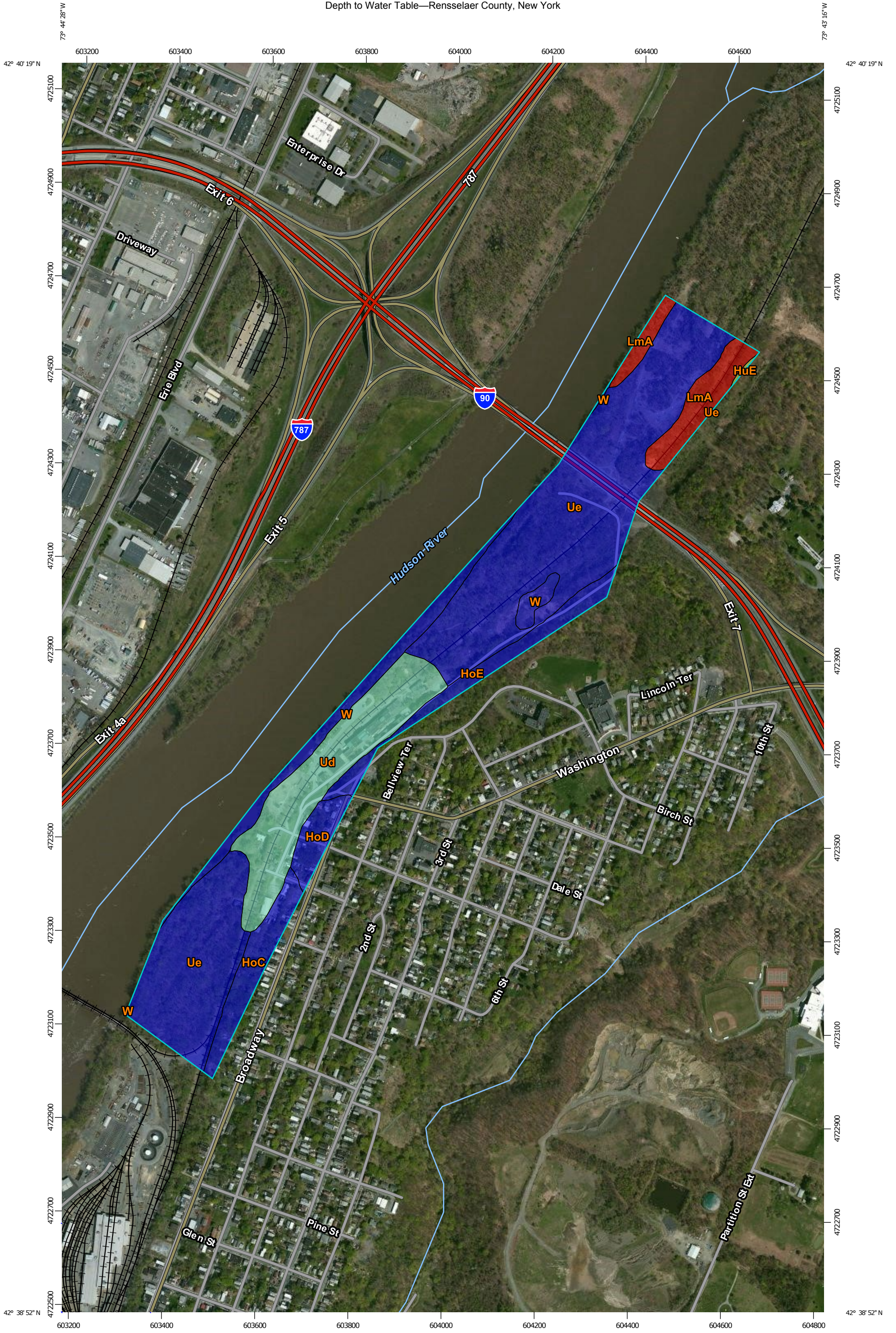
Based on the HSG “B” of the soils located on the project site, the following green infrastructure practices could be incorporated into the final design of the middle portion of the site where the redevelopment of the boat launch and the Hilton Center are proposed to be revitalized.

- Bioretention Basins
- Vegetated Swales
- Dry Swales
- Rain Gardens

Based on the HSG “A” of the soils located on the project site, the following green infrastructure practices could be incorporated into the final design of the northern portion of the site where the RPI recreational sports fields and trails connecting to the Livingston Avenue Bridge are proposed to be constructed.

- Conservation of natural areas such existing wetlands and riparian buffers
- Underground infiltration systems under the recreational sports fields
- Porous pavers on the trails
- Dry Swales

Depth to Water Table—Rensselaer County, New York
































Map Scale: 1:7,480 if printed on B portrait (11" x 17") sheet.

0 100 200 400 600 Meters

0 350 700 1400 2100 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

MAP LEGEND

- Area of Interest (AOI)**
 -  Area of Interest (AOI)
- Soils**
 - Soil Rating Polygons**
 -  0 - 25
 -  25 - 50
 -  50 - 100
 -  100 - 150
 -  150 - 200
 -  > 200
 -  Not rated or not available
 - Soil Rating Lines**
 -  0 - 25
 -  25 - 50
 -  50 - 100
 -  100 - 150
 -  150 - 200
 -  > 200
 -  Not rated or not available
 - Soil Rating Points**
 -  0 - 25
 -  25 - 50
 -  50 - 100
 -  100 - 150
 -  150 - 200
 -  > 200
-  Not rated or not available
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800. Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Rensselaer County, New York
 Survey Area Data: Version 12, Sep 24, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Data not available.

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Depth to Water Table

Depth to Water Table— Summary by Map Unit — Rensselaer County, New York (NY083)				
Map unit symbol	Map unit name	Rating (centimeters)	Acres in AOI	Percent of AOI
HoC	Hoosic gravelly sandy loam, rolling	>200	5.2	5.3%
HoD	Hoosic gravelly sandy loam, hilly	>200	2.9	2.9%
HoE	Hoosic gravelly sandy loam, steep	>200	5.3	5.4%
HuE	Hudson silt loam, steep	54	0.1	0.1%
LmA	Limerick silt loam, 0 to 3 percent slopes	23	6.1	6.2%
Ud	Udorthents, loamy	137	16.0	16.3%
Ue	Udorthents, sandy	>200	56.1	57.1%
W	Water	>200	6.6	6.8%
Totals for Area of Interest			98.3	100.0%

Description

"Water table" refers to a saturated zone in the soil. It occurs during specified months. Estimates of the upper limit are based mainly on observations of the water table at selected sites and on evidence of a saturated zone, namely grayish colors (redoximorphic features) in the soil. A saturated zone that lasts for less than a month is not considered a water table.

This attribute is actually recorded as three separate values in the database. A low value and a high value indicate the range of this attribute for the soil component. A "representative" value indicates the expected value of this attribute for the component. For this soil property, only the representative value is used.

Rating Options

Units of Measure: centimeters

Aggregation Method: Dominant Component

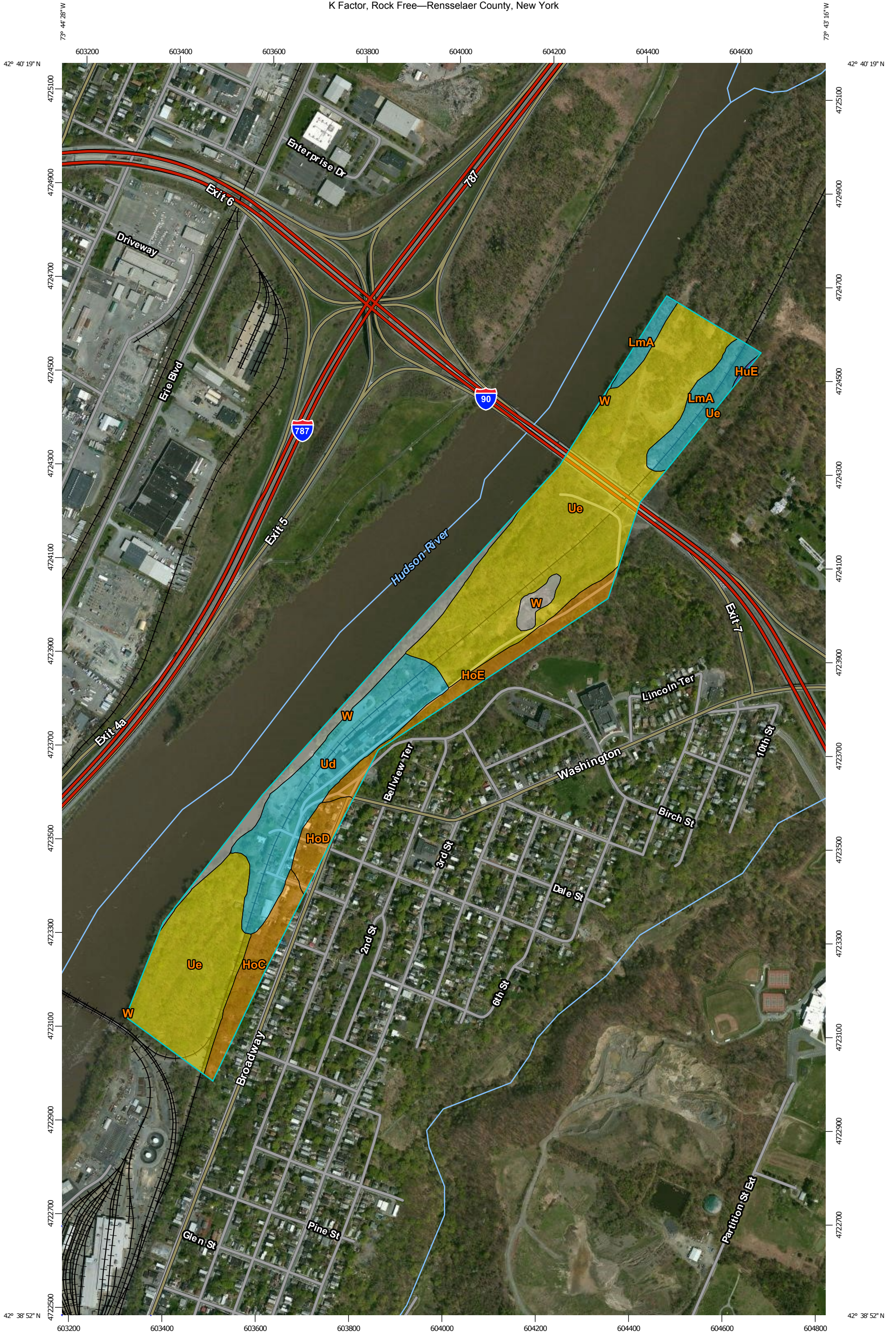
Component Percent Cutoff: None Specified

Tie-break Rule: Lower

Interpret Nulls as Zero: No

Beginning Month: January

Ending Month: December



Map Scale: 1:7,480 if printed on B portrait (11" x 17") sheet.


0 100 200 400 600 Meters

0 350 700 1400 2100 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84
















MAP LEGEND

Area of Interest (AOI)







 Area of Interest (AOI)










Soils

Soil Rating Polygons
















-  .02
-  .05
-  .10
-  .15
-  .17
-  .20
-  .24
-  .28
-  .32
-  .37
-  .43
-  .49
-  .55
-  .64
-  Not rated or not available

Soil Rating Lines








-  .02
-  .05
-  .10
-  .15
-  .17
-  .20

-  .24
-  .28
-  .32
-  .37
-  .43
-  .49
-  .55
-  .64
-  Not rated or not available

Soil Rating Points

-  .02
-  .05
-  .10
-  .15
-  .17
-  .20
-  .24
-  .28
-  .32
-  .37
-  .43
-  .49
-  .55
-  .64
-  Not rated or not available

Water Features

-  Streams and Canals
- Transportation**
-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads
- Background**
-  Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Rensselaer County, New York
 Survey Area Data: Version 12, Sep 24, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Data not available.

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

K Factor, Rock Free

K Factor, Rock Free— Summary by Map Unit — Rensselaer County, New York (NY083)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
HoC	Hoosic gravelly sandy loam, rolling	.10	5.2	5.3%
HoD	Hoosic gravelly sandy loam, hilly	.10	2.9	2.9%
HoE	Hoosic gravelly sandy loam, steep	.10	5.3	5.4%
HuE	Hudson silt loam, steep	.49	0.1	0.1%
LmA	Limerick silt loam, 0 to 3 percent slopes	.37	6.1	6.2%
Ud	Udorthents, loamy	.37	16.0	16.3%
Ue	Udorthents, sandy	.17	56.1	57.1%
W	Water		6.6	6.8%
Totals for Area of Interest			98.3	100.0%

Description

Erosion factor K indicates the susceptibility of a soil to sheet and rill erosion by water. Factor K is one of six factors used in the Universal Soil Loss Equation (USLE) and the Revised Universal Soil Loss Equation (RUSLE) to predict the average annual rate of soil loss by sheet and rill erosion in tons per acre per year. The estimates are based primarily on percentage of silt, sand, and organic matter and on soil structure and saturated hydraulic conductivity (Ksat). Values of K range from 0.02 to 0.69. Other factors being equal, the higher the value, the more susceptible the soil is to sheet and rill erosion by water.

"Erosion factor Kf (rock free)" indicates the erodibility of the fine-earth fraction, or the material less than 2 millimeters in size.

Rating Options

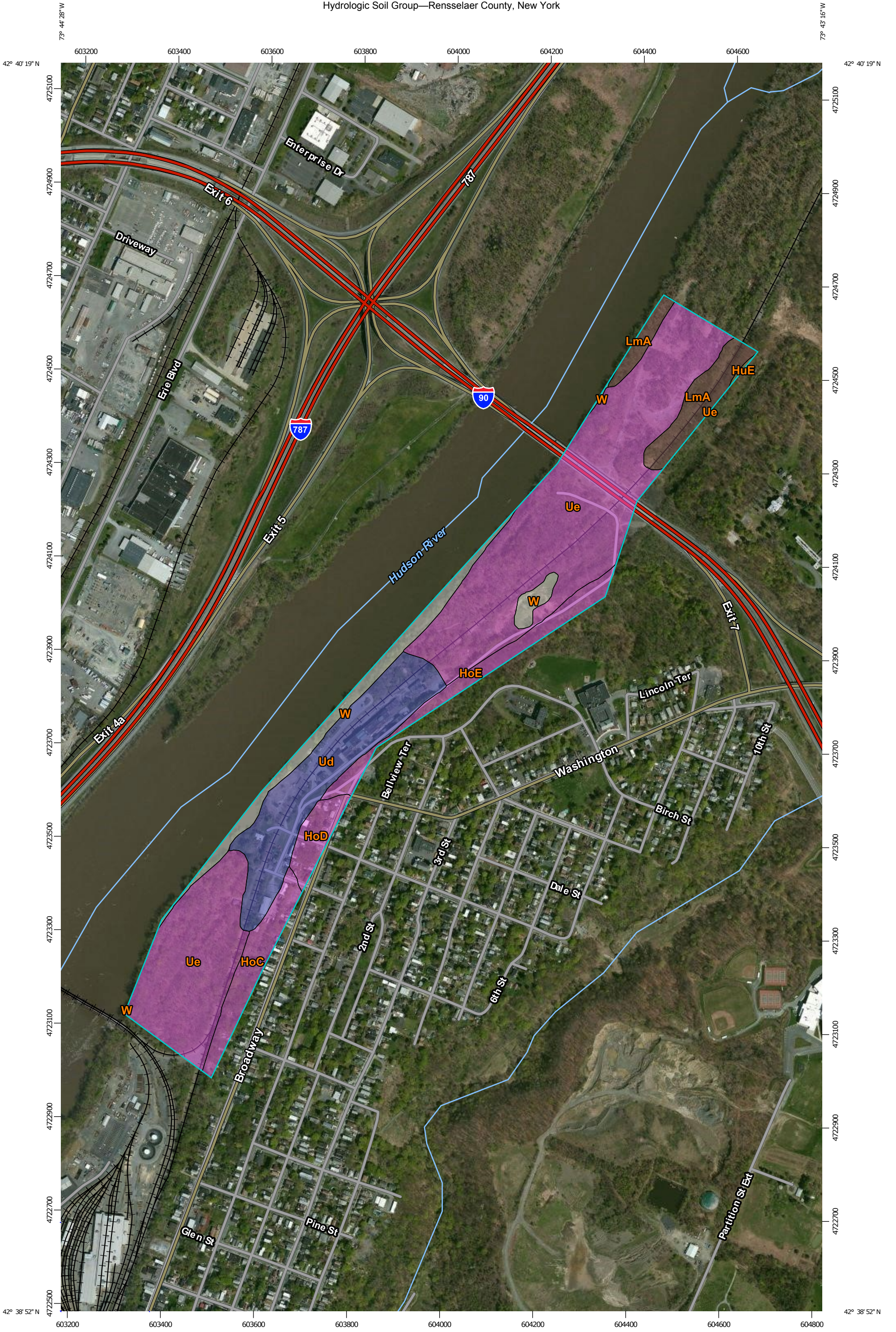
Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Layer Options (Horizon Aggregation Method): Surface Layer (Not applicable)

Hydrologic Soil Group—Rensselaer County, New York



Map Scale: 1:7,480 if printed on B portrait (11" x 17") sheet.


0 100 200 400 600 Meters

0 350 700 1400 2100 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

Soil Rating Lines

-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

Soil Rating Points






-  A
-  A/D
-  B
-  B/D

-  C
-  C/D
-  D
-  Not rated or not available


Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

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Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Data not available.

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Rensselaer County, New York (NY083)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
HoC	Hoosic gravelly sandy loam, rolling	A	5.2	5.3%
HoD	Hoosic gravelly sandy loam, hilly	A	2.9	2.9%
HoE	Hoosic gravelly sandy loam, steep	A	5.3	5.4%
HuE	Hudson silt loam, steep	C/D	0.1	0.1%
LmA	Limerick silt loam, 0 to 3 percent slopes	B/D	6.1	6.2%
Ud	Udorthents, loamy	B	16.0	16.3%
Ue	Udorthents, sandy	A	56.1	57.1%
W	Water		6.6	6.8%
Totals for Area of Interest			98.3	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Appendix C
Additional Site Photographs



Photo 1-City Boat Launch Area northeast towards Patroon Island Bridge



Photo 2-City Boat Launch Area southeast towards Livingston Avenue Bridge



SITE PHOTOGRAPHS

**Kiliaen's Landing Site Master Plan & GEIS
City of Rensselaer, Rensselaer Co., NY**



Photo 3-CXS Tracks north towards Forbes Avenue



Photo 4-View north of overhead powerline easement from CSX embankment at site southern boundary



SITE PHOTOGRAPHS

**Kiliaen's Landing Site Master Plan & GEIS
City of Rensselaer, Rensselaer Co., NY**



Photo 5-Hilton Center from Boat Launch parking area



Photo 6-Hilton Center looking northeast at entrance to boat launch area



SITE PHOTOGRAPHS

**Kiliaen's Landing Site Master Plan & GEIS
City of Rensselaer, Rensselaer Co., NY**



Photo 7-Looking towards Patroon Island Bridge from site interior



Photo 8-Site access from Tracy Street looking southeast towards Broadway



SITE PHOTOGRAPHS

**Kiliaen's Landing Site Master Plan & GEIS
City of Rensselaer, Rensselaer Co., NY**

Appendix 3
Market Study

Kiliaen's Landing

MARKET STUDY

City of Rensselaer

Prepared for:

*City of Rensselaer
62 Washington Street
Rensselaer, NY 12144*

Prepared by:



*3 Winners Circle
P.O. Box 5269
Albany, NY 12205*

July 22, 2016

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EXECUTIVE SUMMARY

The project area identified as Kiliaen's Landing consists of approximately 75 acres in the northwestern portion of the City of Rensselaer, NY. The property is located directly along the eastern shore of the Hudson River, from the Livingston Avenue Rail Bridge northward to beyond the Interstate 90 river crossing.

The New York State Energy Research and Development Authority (NYSERDA) has funded the preparation of a Master Plan and Generic Environmental Impact Statement (GEIS) for the Kiliaen's Landing site under its Cleaner Greener Communities program. This Market Study was prepared as part of this process, in order to define market conditions influencing the site's development and to make recommendations for a course of development that will be financially viable while benefitting the larger community.

Kiliaen's Landing has a distinguishing feature that sets it apart from almost any other development site in the Capital Region: Its waterfront location— within an urban area – offer direct access to the Hudson River and incredible views of the Albany skyline. This defining characteristic makes the site worthy of serious consideration for investment, and offers a natural advantage in the competitive Capital Region real estate market that cannot be replicated at other sites.

The site's lack of visibility and access from adjacent roadways potentially limits its potential for commercial uses such as retail, office or light manufacturing. However, Kiliaen's Landing appears to have good potential for residential development, including upscale apartment uses. Mixed-use development combining residential and commercial uses may be viable as it establishes population and activity on site to help support commercial components. Population and industry trends, as well as the site's characteristics, are favorable for this type of development.

Following is a summary of recommendations provided by the Market Study:

- The site's waterfront location provides a very good setting for multi-story residential (apartment) uses. A trend favoring upscale/luxury apartments spaces is well underway in the Capital Region, and is expected to continue in the foreseeable future.
- The site may support some mixed use. This could include small scale first-floor retail or dining, professional office space within the residential structure, or the construction of independent commercial buildings in addition to residential development.
- The Hilton Center structure provides opportunities for adaptive reuse, potentially as a residential (apartment or condominium) or mixed-use property.
- The project should highlight its waterfront setting by including features such as balconies, outdoor common areas, river access, and trails.
- Market conditions should be closely monitored by investors and developers during the project's pre-development stages, including the progress of DeLaet's Landing just south of Kiliaen's Landing. This will provide a more accurate gauge of demand and identify potentially unmet market needs based on the performance of DeLaet's Landing.
- A combination of studio, one-bedroom, and two-bedroom apartment units in structures 4-8 stories in height is appropriate for this site.

- Based on its location, housing at Kiliaen's Landing may not support rents at the very high end of the region's residential market. Cost containing measures such as the use of modern, efficient materials and limiting apartment unit dimensions can help to maintain affordability.
- A phased approach to development at Kiliaen's Landing should be considered to gauge market trends, allow maturation of the Rensselaer market, and to maintain a degree of flexibility over the course of the site's buildout.
- Sustainable design and construction practices should be used to create a modern setting that appeals to many residents seeking apartment housing in urban areas.
- Active participation and support from public agencies including the City of Rensselaer, Rensselaer County, and NYSERDA is important to the overall success of the project. Economic development agencies including the City of Rensselaer IDA and/or Rensselaer County IDA should be actively involved in the development process; open dialogue should occur relative to development incentives potentially available in the form of tax exemptions, PILOT agreements or other economic development tools that may be used to support confident investment in the project.

I. PROJECT BACKGROUND and INTRODUCTION

The project area identified as Kiliaen's Landing consists of approximately 75 acres in the northwestern portion of the City of Rensselaer, NY. The property is located directly along the eastern shore of the Hudson River, from the Livingston Avenue Rail Bridge northward to beyond the Interstate 90 river crossing. The site is accessed by Tracy Street and Forbes Avenue, which intersect with Broadway Avenue east of the site. Ownership of the site is divided among several private and public owners. The main focus of this Market Study is the southernmost 18 acres of the site, an area bounded by the Hudson River, the CSX rail lines, and the city-owned boat launch.

The New York State Energy Research and Development Authority (NYSERDA) has funded the preparation of a Master Plan and Generic Environmental Impact Statement (GEIS) for the Kiliaen's Landing site under its Cleaner Greener Communities program. This Market Study was prepared as part of this process, in order to define market conditions influencing the site's development and to make recommendations for a course of development that will be financially viable while benefitting the larger community.

This report is the product of an extensive analysis that has included the review of demographic conditions throughout the Capital Region; the study of reports and articles describing recent development projects and industry trends occurring in the region; a thorough examination of potential competition in the upscale apartment housing market; and discussions with economic development and real estate professionals working in the Capital Region.

Based on this information, the report will summarize economic conditions and industry trends in the Capital Region with an emphasis on the region's investment in high-tech industries with significant growth potential in the foreseeable future. An analysis of settlement trends provides a basis to evaluate the Kiliaen's Landing site's position within the regional real estate market by describing some of the important geographic and social determinants of settlement patterns in the Capital Region. Considering certain site characteristics such as its limited visibility from adjacent roadways and the existing roadway network as well as market conditions (See Section VII.a), much of the site's potential seems to be for residential or mixed-use development. Using geographic and market-related criteria, four existing apartment communities were identified from among the large number of properties examined as part of this analysis, to provide a representative illustration of comparable properties in the local and regional market.

This background information is used as the basis for a detailed discussion of the market potential of a development project at Kiliaen's Landing. The site's strengths and limitations are evaluated in the context of market conditions in the City of Rensselaer and the Capital Region. The site is favorable for development – particularly for upscale/luxury apartment development – due to its excellent waterfront location in an area with significant growth potential. A series of recommendations is provided regarding potential development on the site, as well as a number of programmatic elements and measures that may be taken to ensure that Kiliaen's Landing will be a successful project that advances the transformation of the Rensselaer waterfront.

The purpose of this report is to provide support for the master planning process underway at Kiliaen's Landing. While the information presented here is the result of an extensive analysis that we believe to be reasonable and accurate, CHA Consulting Inc. makes no representation of the level of financial return on investments made as part of the Kiliaen's Landing project discussed herein. Investors and other development interests should consider this information in the context of master planning, as a basis for more detailed pre-development analysis to be conducted as the project moves forward.

II. PREVIOUS STUDIES

The Kiliaen's Landing site has been the focus of previous master plan studies that identified potential uses based on an examination of the site's characteristics and market conditions at the time. This section provides a brief review of the 2002 *Kiliaen's Landing – Linking the Potential of the Capital District Riverfront at Capital Harbor*¹ and the 2006 *Kiliaen's Landing*² reports. The Capital Region economy has changed significantly in the time since these reports were prepared, but some of their findings regarding the site's suitability for particular uses remain relevant.

The 2002 *Linking the Potential of the Capital District Waterfront at Capital Harbor* report provides a high-density mixed use development scenario for the southern portion of the Kiliaen's Landing site and extending east of the CSX rail line into the adjacent residential area. This concept includes two large (400,000 sf), four-story residential buildings on the southernmost part of the site. Several "mixed-use" buildings (>500,000 sf in total), presumably intended for commercial/residential use, are located further north near the waterfront with paved/hardscaped common areas connecting the various buildings. The mill complex further north is identified as "mixed use". Between Broadway Avenue and the CSX rail lines, the concept identifies: An 84,000 sf mixed-use commercial and residential building, 30,000 sf exhibition space, and 85,000 sf mixed use commercial and entertainment building. The degree to which this conceptual study evaluated market viability, environmental and other constraints is unclear. It represents a truly mixed-use concept with residential being the primary use accompanied by extensive commercial uses, with density of development at the very high end of what may be feasible at this location.

The 2006 *Kiliaen's Landing* report provides a more thorough evaluation of site conditions to shape its recommendations for a concept plan. Regarding market analysis, this study recommended that proposed housing should focus on owner-occupied townhouse and condominium development. This recommendation was based on the observation that "...there was only a very limited supply of homes at the higher end of the market, with potential buyers, including young professionals, seeking a more exclusive environment with a range of on-site amenities." Development of a new high school is offered as a factor that enhances the site's appeal for moderate-density residential development. Three alternative concept plans are provided. Concept A includes exclusively 2- and 3-story townhouses with limited shared amenities including a picnic area and pavilion. Concept B includes apartment buildings in the southernmost area and townhouses to the north, with a restaurant among the additional features recommended. Concept C includes three large apartment buildings with landscaped decks over parking areas, a café, and nature preserve on the southern part of the site. A "recommended concept plan" was developed which consider the opportunities and limitations of the three alternatives. This recommended concept includes two 5-6 story apartment buildings, restaurant, pavilion, and nature preserve.

¹ Kiliaen's Landing / Linking the Potential of the Capital District Riverfront at Capital Harbor. The Saratoga Associates. June 2002.

² Kiliaen's Landing / City of Rensselaer, New York. BFJ Planning. August 2006.

III. DEMOGRAPHIC CONDITIONS

This section will summarize some relevant demographic information related to the City of Rensselaer and Capital Region. The Kiliaen’s Landing site is located in the Albany-Schenectady-Troy Metropolitan Statistical Area (MSA), which includes Albany, Rensselaer, Saratoga, Schenectady, and Schoharie Counties. This roughly represents an area considered to be the “Capital Region”. The MSA had a Census 2000 total population of 825,875 residents, Census 2010 population of 870,716, and an estimated 2014 population¹ of 875,567 residents, with a summary as follows.

Table 1: Albany-Schenectady-Troy MSA Total Population by County

County	2000 Population	2010 Population	2014 Population	% Change, 2000-2014
Albany County	294,565	304,204	306,124	4%
Rensselaer County	152,538	159,429	159,600	5%
Saratoga County	200,635	219,607	222,512	11%
Schenectady County	146,555	154,727	155,178	6%
Schoharie County	31,582	32,749	32,153	2%
Total MSA Population	825,875	870,716	875,567	6%

Albany and Saratoga are the region’s most heavily populated counties with a combined 528,636 residents representing 60 percent of the region’s population in 2014. Rensselaer County had a 2014 population of 159,600 residents.

The region’s overall population increased by approximately 50,000 residents or 6 percent between 200 and 2014. Saratoga County experienced the highest rate of population growth over this time, at 11 percent. Rensselaer, Albany, and Schenectady County experienced population growth between 4 to 6 percent over this time.

Several cities are located within the Capital Region, including Albany, Cohoes, Rensselaer, Saratoga Springs, Schenectady, and Troy. The following table summarizes Census 2000, Census 2010 and American Community Survey (ACS) 2014 population estimates for this set of Capital Region cities.

¹ American Community Survey 2010-2014 5-year estimates

City	2000 Population	2010 Population	2014 Population	% Change, 2000-2014
Albany	95,658	97,856	98,287	3%
Cohoes	15,521	16,168	16,195	4%
Rensselaer	7,761	9,392	9,476	22%
Saratoga Springs	26,186	26,586	26,998	3%
Schenectady	61,821	66,135	66,055	7%
Troy	49,170	50,129	49,965	2%

All of these cities experienced some population growth between 2000 and 2014. Population growth rates are generally modest: Albany, Cohoes, Saratoga Springs, and Troy grew at rates lower than for the MSA as a whole, and Schenectady grew at a rate slightly higher than the MSA as a whole. The period from 2000-2009 was characterized by significant growth in single-family housing developed primarily in suburban areas. Interestingly, the City of Rensselaer's population increased by approximately 1,700 residents or 22 percent over this time period.

Income-related demographic information for this group of cities and the MSA overall is provided in Table 3.

City	Median Household Income	Per Capita Income	% Poverty
Albany	\$41,099	\$24,342	27%
Cohoes	\$44,534	\$25,454	16%
Rensselaer	\$48,314	\$28,156	20%
Saratoga Springs	\$67,303	\$39,395	8%
Schenectady	\$38,916	\$20,652	24%
Troy	\$39,526	\$21,635	28%
Total MSA	\$61,841	\$32,069	12%

¹ Based on American Community Survey (ACS) 2010-2014 5-year estimates

Saratoga Springs has the highest income levels and lowest poverty rate of this set of Capital Region cities – this is the only city with higher income and lower poverty than overall levels for the MSA. All of the other cities have income levels significantly lower than the region as a whole, reflecting the fact that suburban areas tend to be wealthier than urban areas. Among these other cities, Rensselaer has the highest median household and per capita income; this suggests that a greater proportion of Rensselaer households are soundly in the middle class. Poverty rates in these cities are quite high overall, with 10 to 28 percent of the total population living below the poverty line.

Median home values and owner occupancy is summarized for the Capital Region's counties in Table 4.

Table 4: Capital Region Cities, Income and Poverty Summary (2014)¹		
County	Median Home Value	% Owner Occupied
Albany County	\$260,400	60.5%
Rensselaer County	\$177,000	65.6%
Saratoga County	\$223,100	74.3%
Schenectady County	\$163,000	70.2%
Schoharie County	\$151,200	75.5%
Total MSA	\$193,600	67.1%

The median home value in the Albany-Schenectady-Troy MSA is \$193,600. Home values in Albany County and Saratoga County are well above the region's average, while the home values in other counties are well below the overall average. Homes in Rensselaer County have a median value of \$177,000, which is nearly \$17,000 less than the median home value for the MSA. This reflects the value of suburban homes, as well as homes in urban areas including the City of Rensselaer. Compared against Albany County, the median home value in Rensselaer County is \$83,400 (47 percent) lower.

Owner occupancy for housing in the MSA is approximately 67 percent overall. Of the region's five counties, Albany County and Rensselaer County have owner occupancy lower than the overall rate, while the other counties have higher rates of owner occupancy.

The Capital District Regional Planning Commission (CDRPC) maintains a set of population projections for Capital District municipalities through the year 2050. These projections are based on historic Census data, migration trends, and qualitative factors deemed appropriate by the Planning Commission. Following is a summary of population change projections in ten-year increments from 2010-2050, for the region's counties (Albany, Rensselaer, Saratoga, Schenectady).

¹ Federal Reserve Bank of New York

Table 5: Capital District Population Projections, 2010-2050¹					
County	2010	2020	2030	2040	2050
Albany County	304,204	309,730	316,018	317,709	317,183
Rensselaer County	159,429	161,744	163,685	164,643	164,943
Saratoga County	219,607	234,358	246,253	251,049	252,153
Schenectady County	154,727	158,594	162,117	163,050	160,733
Region Total	837,967	864,426	888,073	896,451	895,012

CDRPC forecasts modest growth for the Capital District through the year, with the population projected to peak in 2040. Overall, the region's population is expected to grow by 6.8 percent between 2010 and 2050. All counties in the region are expected to gain population over this time, with Saratoga County experiencing the highest rate of growth. Population projections can be sensitive to unanticipated events that occur over the timeframe being examined, but based on the information available, the region is expected to continue to grow throughout the foreseeable future.

¹ Capital District Regional Planning Commission (CDRPC)

IV. ECONOMIC CONDITIONS AND INDUSTRY TRENDS

This section describes some of the important economic forces shaping market conditions in the Capital Region, currently and in the foreseeable future.

As the capital of New York State, the City of Albany is a major hub of government activity. State government agencies employ thousands of Capital Region residents, and associated industries which support and/or interact with government entities employ thousands more. The robust public sector activity provides a unique stability at the core of the Capital Region economy. Government activities, spending and employment are resistant to changes in the economy, and will always be highly concentrated in the Capital Region. While long-term trends in the public sector suggest that state government employment may decline to some degree in the future, the public sector will continue to drive economic activity at the core of the Capital Region economy.

Higher education also plays a major role in the Capital Region economy; the region is home to more than a dozen colleges and universities with more than 100,000 students enrolled at a given time. These institutions employ thousands of faculty, staff and support personnel. These graduates provide a steady source of skilled human capital to the benefit of businesses and institutions operating in the area.

The Capital Region has a long history of innovation in high-tech industries, and extraordinary investments have been made in recent years to position the region as a center for the advancement of 21st Century technologies. The region brands itself as the heart of Tech Valley, the commercial corridor featuring a high concentration of advanced industries in the vicinity of the Hudson Valley extending north of New York City through the Capital Region into Northern New York.

SUNY Polytechnic Institute has located its Colleges of Nanoscale Science and Engineering for the specific purpose of attracting top-tier scientists, researchers, engineers, and students in the field of nanotechnology to the Capital Region. The Albany NanoTech Complex is a state-of-the-art research and development facility accessible to SUNY Poly's academic researchers and corporate partners. Efforts have been made to create an ecosystem that nurtures research and development efforts, leading to the eventual commercialization of new systems and products to the benefit of high-tech industries located in the region.

General Electric has maintained a major presence in the Schenectady area with major investments in energy storage (battery) manufacturing, as well as its Global Research operation which drives many of the company's research and development efforts. Computer chip manufacturer GlobalFoundries began building a world class manufacturing facility in Saratoga County in 2009, and has invested heavily in research and development within the region. The company currently employs nearly 3,000 people in the region and continues its construction activities. GlobalFoundries will continue to be a major employer and economic force in the region's tech industry.

Bioscience is also emerging as an important tech industry in the Capital Region. Notably, Regeneron Pharmaceuticals has been expanding rapidly in its East Greenbush facility located less than two miles from the Kiliaen's Landing site. More than 1,300 employees work at the existing Regeneron facility, and the company plans to build a second facility that will house more than 1,000 additional employees. The new

facility will be located less than two miles east of the Kiliaen's Landing site in North Greenbush. In addition, GE Healthcare employs 150 workers at its North Greenbush location.

In addition to the major sources of investment described above, the Capital Region is home to a wide variety of successful and emerging high-tech companies. These companies belong to industries such as green energy, chemical manufacturing, advanced materials, software engineering, LED lighting, medical devices, and many more. While some are fully developed, profitable operations, many others are in earlier stages of development. The region has a healthy entrepreneurial and small business community with respect to high-tech industries.

While state government holds a cornerstone in the Capital Region economy, and significant investments have been made to encourage growth in high tech industries, support/service industries such as health care, construction, merchant or wholesale trade, services, and financial industries represent the majority of jobs in the region. Hospitals and retail chains represent seven of the region's ten largest employers. Non-basic industries serve people and businesses within the region, and to some degree beyond the region.

In summary, the Capital Region economy appears to be strong moving into the 21st Century. The high volume of government activity and associated private sector work provides stability to the region, insulating it against the highs and lows of normal economic cycles. The region is home to a number of successful high-tech companies and targeted, major investments have been made in growth industries such as nanotechnology, advanced manufacturing, energy, and bioscience. The bulk of the rewards generated by these investments will likely be experienced years or even decades from now, but the region appears to have achieved a critical mass of facility infrastructure and human capital that will sustain these growth industries and attract skilled professionals to the area.

V. SETTLEMENT PATTERNS AND TRENDS

The Capital Region is polycentric, meaning it possesses a number of urban areas that serve as population and commercial centers, as well as lower-density suburban areas surrounding the region's cities. Generally speaking, settlement patterns within a region reflect various factors including cost of land and property, proximity to work, access to goods and services, transportation networks, and a variety of personal preferences.

The City of Albany is the region's foremost hub of government and business operations, and is the most highly populated city in the region. Schenectady and Troy represent the region's secondary centers with historic industrial roots and heavily populated areas. Saratoga Springs is the region's northernmost city and is considered one of the region's upscale areas, due in part to its history as a resort destination. Cohoes is a relatively small city with extensive frontage along the Hudson and Mohawk Rivers. The City of Rensselaer is the region's smallest city, and is located directly across the Hudson River from Downtown Albany. Many of the region's towns, particularly those in central areas in proximity to cities, are heavily populated and include large residential areas with population densities generally lower than in urban areas.

The region's polycentric geography and population distribution lead to complex commuting and travel patterns among residential areas, workplaces and commercial destinations within the region. Commuter patterns reflect, in part, the efficiency of a highway and road network that allows residents to move freely between and among destinations within the region. For example, while one resident may live in Rensselaer and travel to work in Albany, another resident may commute between these cities in the opposite direction. This is true among the region's numerous population and business centers.

The implication of this regional settlement pattern is one of diversity: Because there are numerous population centers, and numerous employment centers, highly mobile residents may choose to live virtually anywhere in the region and be assured that they will have access to places of work as well as the goods and services they demand. Individual settlement decisions are based on a number of factors in addition to accessibility, including real estate costs, place of work, social attachments, neighborhood and environmental preferences, etc. The Capital Region provides a flexible landscape with a wide variety of housing and lifestyle options. The region's polycentric geography and interconnected nature form a market area that is truly regional, in which residents may choose from among a wide range of locations and settings to determine where they wish to live.

Conversely, on the supply side, the Capital Region allows a degree of locational flexibility in the placement of residential and/or commercial development. Opportunities are not limited to a single urban center surrounded by a static ring of suburban communities; rather, communities and residents interact in complex ways to form a market that functions at a regional scale. Residents of the region are mobile, and population centers potentially fluid in response to changing market conditions. A challenge to development interests is to identify sites and concepts offering a set of physical and social/environmental characteristics with appeal sufficient to achieve viability. For example, a residential or mixed use development at the Kiliaen's Landing site has the potential to appeal to residents from throughout the region, and not just from the City of Rensselaer, Rensselaer County, or a simple five-mile radius of the site.

The redevelopment and resettlement of traditional urban centers is one of the most significant real estate trends underway within the Capital Region, as well as within the greater Upstate New York region and nationally. While comprehensive population counts are not yet available to document population shifts towards urban areas in the Capital Region since the last Census in 2000, the number and success of residential or mixed-use urban development projects over the past few years indicate that urban resettlement is a powerful trend that is well underway.

Millennials in roughly the 20-35 year age range are largely responsible for the shift in demand for urban lifestyles and housing. While there are many explanations for this phenomenon, a likely factor is that young adults have grown up in a highly connected environment in which social networks, instant access to information and services, and exposure to diverse groups of people from all over the world have led Millennials to become a highly social generation that seeks connection and stimulation. As a group, they prefer settings that offer urban cultural amenities, shopping, entertainment, and office settings that are easily accessible and integrated. Millennials are less likely to own homes and automobiles than their parents, and are more likely to live in cities.

Empty nesters (55+ year age group) represent another demographic group driving the trend of in-migration to urban areas from suburbs. For many empty nesters, urban housing can provide an opportunity to downsize and take advantage of the reduced maintenance and convenience offered by centralized districts. Cultural amenities, walkability, shopping and dining, and proximity to work are factors that appeal to many empty nesters.

Hundreds of new apartment units have been constructed within the Capital Region over the past few years, and this trend is expected to continue into the foreseeable future. Major mixed-use and residential proposals have been put forth in Albany (Downtown and Warehouse Districts), Troy, Schenectady, Cohoes, and Rensselaer with projects standing at various stages of completion or construction. Occupancy rates are high (90-100%) among completed projects, often with high percentages of dwelling units leased before construction is complete.

Given the Capital Region's strong market position in growth industries with potential to expand in the near future, along with the paradigm shift in favor of urban resettlement, the region's urban centers appear prime for continued growth over at least a ten-year window. While demand for suburban housing and lifestyles will remain and potentially grow depending on net migration to the region, the growth forecast is strong in urban areas including the City of Rensselaer, provided that appealing conditions are present to encourage this settlement.

VI. COMPARABLE DEVELOPMENTS

Based upon previous studies prepared for the Kiliaen's Landing site and information provided by parties involved in the development process, this report assumes that part of the Kiliaen's Landing site will ultimately be developed as a large-scale residential or mixed-use property. This determination was made through preliminary market observations and conversations with involved parties, which indicated that residential and mixed uses warrant strong consideration as part of the market study. A number of properties throughout the region were examined as part of the market study process, and this report describes a set of four comparable properties that have important features in common with a potential Kiliaen's Landing project. In identifying comparable properties within the Capital Region, we used the following criteria:

- Location – within Capital Region, urban area *or* Rensselaer suburb
- Size – medium to large scale residential development, centralized management and greater than 25 units
- Units – includes 1- and 2- bedroom units
- Age – Built after 2000
- Upscale/luxury, market rate apartments

Based on these criteria, we identified the following properties as comparable for the purposes of this study:

- The Mansions at Technology Park, Town of North Greenbush
- The Lofts at 733 Broadway, Downtown Albany
- Stonegate Luxury Apartments, Town of North Greenbush
- The Lofts at Harmony Mills, City of Cohoes

Based on publicly available information, the physical characteristics, amenities, rental rates, and occupancy of these properties were examined in order to gain some understanding of the existing real estate landscape and to help identify a set of parameters that a Kiliaen's Landing property must meet in order to be competitive in the apartment housing market.

a. The Mansions at Technology Park

The Mansions at Technology Park is a 23-acre, 390 unit, loft- and townhouse-style apartment community located approximately one half mile east of the site's northern boundary, in the Town of North Greenbush. As the name suggests, this development is located in close proximity to the Rensselaer Technology Park and is designed and managed in a manner presumably meant to appeal to people working at this employment center. This development offers high-end housing designed in the style of wood-framed suburban homes. Structures at The Mansions are two to three stories in height, and the community is designed to support automobile travel to external locations with pedestrian access to amenities located on site. One-, two- and three-bedroom units are available. Occupancy is 95% or higher. The Mansions at Technology Park was constructed in 2003.

One-bedroom/1.5 bath units range between 860-900 sf of floor space plus one-car garage, with monthly rents ranging from \$1,175-\$1,200. The one-bedroom units are single-story flats. Two-bedroom/two-

bath apartments are two-story, townhome-style units ranging from 1,200-1,639 sf plus one-car garage with rents of \$1,325-\$1,540. Three-bedroom/two-bath units range from 1,360-1,830 sf of floor space plus one-car garage. These are townhome-style units with two or three floors, and rents range from \$1,450-\$1,725. Floor plans for all units include porch/balcony or patio spaces that vary in size depending on apartment model.

Apartments the The Mansions are designed with suburban (spacious) dimensions, layouts and fixtures. All units include nine-foot ceilings, washer and dryer, direct access one-car garage, and porch/balcony space. Kitchens include electric stove, dishwasher, garbage disposal, laminate countertops and tiled floor. The grounds are landscaped with raised bed plantings and mowed grass lawns. Shared amenities include a large community pool, fitness center, conference rooms, fenced-in dog park, and children's playground area.

A summary of square footage and rents for apartment units at The Mansions at Technology Park is as follows.

	SF Range	SF Average¹	\$/Month Range	\$/Month Average¹	\$/SF/Month Range	\$/SF/Month Average
One Bedroom	864-900	881	\$1,175-\$1,200	\$1,192	\$1.33-\$1.36	\$1.35
Two Bedrooms	1,200-1,639	1,337	\$1,325-\$1,540	\$1,379	\$0.94-\$1.07	\$1.04
Three Bedrooms	1,363-1,832	1,584	\$1,450-\$1,725	\$1,550	\$0.94-\$1.06	\$0.98

b. The Lofts at 733 Broadway

The Lofts at 733 Broadway is a recently developed mixed-use residential/commercial property located in Downtown Albany just south of the Warehouse District, almost directly across the river from the Kiliaen's Landing site. This property was converted from a vacant warehouse to its current use in 2015. A number of vacant or underutilized buildings in Downtown Albany and the Warehouse District have been converted to mixed-use or residential spaces, and while most of these projects have been smaller in scale, The Lofts at 733 Broadway includes 29 one- and two-bedroom apartment units and 3,800 sf of commercial space, ranking it among the larger rehabilitation projects in Downtown Albany to this point. Apartment units are loft-style with open floor plans, large windows and high ceilings. The building is near 90% occupancy approximately six months after opening, with a few vacancies remaining in its two-bedroom units.

¹ Unweighted average of models available

The building's twenty one-bedroom/one bath apartment units range from 802-1,132 sf of floor space with rents of \$1,275-\$1,700. There are nine two-bedroom/1-2 bath units ranging from 1,220-1,377 sf and rents of \$1,625-\$1,990. The building is three stories in height, and has elevator access to the upper floors. All apartments are single-level flats.

Apartments at The Lofts at 733 Broadway are upscale and modern. Layouts are open with high ceilings and some exposed ductwork. All units include a washer and dryer, wireless Internet and cable, and off-street parking in a surface-level parking lot adjacent to the building. Flooring is a combination of hardwood and tile. Kitchens include stainless steel electric stove, refrigerator and integrated microwave; granite countertops, and dishwasher.

Shared amenities at 733 Broadway are limited, and the property's exterior includes streetscape plantings and a 60-vehicle parking lot. Much of this property's appeal is due to its central location and access to neighborhood amenities. The location offers walkable access to nearby employment centers, retail, services, dining and entertainment in Downtown Albany as well as the Warehouse District. This style of upscale, urban housing appeals to professionals who value the convenience and lifestyle offerings available in Downtown Albany.

A summary of square footage and rents for apartment units at The Lofts at 733 Broadway is as follows.

	SF Range	SF Average	\$/Month Range	\$/Month Average¹	\$/SF/Month Range	\$/SF/Month Average
One Bedroom	802-1,132	1,016	\$1,275-\$1,700	\$1,454	\$1.30-\$1.59	\$1.44
Two Bedrooms	1,220-1,377	1,284	\$1,625-\$1,990	\$1,846	\$1.30-\$1.50	\$1.44

c. Stonegate Luxury Apartments

The Stonegate Apartments is a relatively new, upscale, low-rise community located on 9 acres of land in the Town of North Greenbush. This property is approximately 2 miles northeast of the southern portion of the Kiliaen's Landing site and 1.5 miles from the site's northern boundary. Stonegate Apartments is located just off Route 4, approximately one mile south of the Rensselaer Technology Park and two miles north of the I-90 Exit 9 interchange. Apartment units are spacious and feature high-end finishings. The community is located in a suburban area, and is designed for automobile access to off-site locations. Based on the location and style of housing, the Stonegate community likely appeals to mature professionals seeking a quiet setting, such as those working at nearby tech facilities or empty nesters who desire a downsized suburban lifestyle with reduced maintenance. One-, two-, and three-bedroom units are available. Occupancy is near 100 percent, and this community was constructed in 2012.

One-bedroom/one bath units are approximately 1,060 sf in size, with monthly rent of \$1,320. Four different floor plans are available for two-bedroom units, which include either one or two bathrooms. These range from 1,400-1,475 sf with monthly rents of \$1,600-\$1,800. A three-bedroom/two bath unit is 1,733 sf with monthly rent of \$2,080. All apartments at Stonegate are single-level flats. The community provides underground parking with additional surface lots, elevator access, individual storage unit, and secure access features. Each apartment has a private balcony.

Apartment units at Stonegate are large, with “suburban” dimensions and stylings. The units have nine-foot ceilings, soundproofed flooring, tray ceilings, laundry room with washer and dryer, and balcony. Finishings such as cabinetry, shelving, and molding are upscale. Kitchens and bathrooms have granite countertops and ceramic tile floors. The kitchen appliances are made of stainless steel including refrigerator, electric stove, microwave, and dishwasher. Much of the outdoor area of the property is paved with access roads or parking lots; landscaping includes maintained lawn areas, ornamental stone cover, and limited plantings along perimeter roadways and buildings. Community amenities include a swimming pool, fitness room, and community center with business/gathering area.

A summary of square footage and rents for apartment units at Stonegate Luxury Apartments is as follows.

	SF Range	SF Average	\$/Month Range	\$/Month Average¹	\$/SF/Month Range	\$/SF/Month Average
One Bedroom	1,057	1,057	\$1,320	\$1,320	\$1.25	\$1.25
Two Bedrooms	1,400-1,475	1,439	\$1,600-\$1,800	\$1,708	\$1.14-\$1.22	\$1.19
Three Bedrooms	1,733	1,733	\$2,080	\$2,080	\$1.20	\$1.20

d. The Lofts at Harmony Mills

The Lofts at Harmony Mills is a 332 unit apartment community located in the former Harmony Mills textile mill on the Mohawk River waterfront in the City of Cohoes. The apartments were constructed during a phased renovation process: Under Phase 1, the 96-unit Riverview Lofts were constructed at the south end of the waterfront Harmony Mills structure; Phase 2 is the Fallsview Lofts (135 units) at the north end of the structure; Phase 3 includes the Harmony Mills West site with Mill 1 (68 units) and Mill 4 (33 units) located across Mohawk Street from the waterfront. The first phase was completed in 2005, second phase in 2011, and third phase in 2013. Occupancy is consistently in the range of 95%.

The Harmony Mills Lofts offers upscale/luxury apartment units ranging from studios to large three-bedroom apartments. Located in a former industrial district, the waterfront views (including Cohoes Falls

to the north) and unique apartment layouts are primary selling points for this property. The Harmony Mills apartments cater to professionals ranging from young professionals to families and empty nesters.

Like Rensselaer, the City of Cohoes is often regarded as an “auxiliary city” within the Capital Region, as many of the historic manufacturing operations have left behind vacant and underutilized properties. Cohoes is not known as a major commercial hub or employment center, although professional and service/commercial uses are concentrated in the downtown area and along the major road corridors providing access to the city. The property’s location offers easy access to I-787 and I-87, and many residents of Harmony Mills rely upon these connections to travel to employment centers and commercial districts located elsewhere in the region.

Although located on the Mohawk River waterfront, The Lofts at Harmony Mills does not provide direct access to recreational use of the river. The property’s built area extends to paved lots and access roads between the mill and river, but no trails, docks, etc. are available on the waterfront. The district surrounding Harmony Mills is highly walkable with sidewalks lining most streets. The river and waterfalls may be viewed from nearby locations, but larger park facilities nearby such as Peebles Island State Park and Lock 6 Park are not within easy walking distance. Shopping, dining, and entertainment are limited within walking distance.

Many floor plans at Harmony Mills are unique because the apartments are an adaptive reuse of the former mill. Rents may vary among similarly sized units, due to considerations such as waterfront views, original wood flooring, or other unique features of each apartment unit. In some cases, rents may be adjusted upward from the estimates provided below. Studio apartments are approximately 500-700 sf with rent in the range of \$1,200. One-bedroom/one bath units range from approximately 630-1,340 sf with rents from \$1,165-\$1,750. Two-bedroom/2-2.5 bath apartments range between 1,100-1,650 sf with rents of \$1,375-\$2,075. Large three-bedroom apartments range from 1,750-3,610 sf with monthly rents of \$2,000-\$3,500.

Apartments in The Lofts at Harmony Mills include high-scale finishings including 12+ foot ceilings with an industrial feel, hardwood floors, ceiling fans, and washer/dryer in each unit. Kitchens and bathrooms have granite countertops, and kitchens are furnished with stainless steel appliances including refrigerator, electric stove, microwave, and dishwasher. Community amenities include an indoor pool and spa, fitness center, gazebo, bocce court, and mill turbine viewing area. Covered parking is provided, and storage units are provided with some apartments. A rooftop common area with waterfront views is under construction and expected to be complete in 2016.

Table 9: Square Footage and Rent Summary – The Lofts at Harmony Mills¹

	SF Range	SF Average	\$/Month Range	\$/Month Average ¹	\$/SF/Month Range	\$/SF/Month Average
Studio	498-705	650+-	\$1,000- \$1,150	\$1,075+-	\$1.63-\$2.00	\$1.79+-
One Bedroom	632-1,343	956	\$1,140- \$1,750	\$1,328	\$1.01-\$1.84	\$1.42
Two Bedrooms	1,067-1,877	1,390	\$1,375- \$2,075	\$1,681	\$1.00-\$1.36	\$1.22
Three Bedrooms	1,758-3,613	2,610	\$2,000- \$3,500	\$2,592	\$0.89-\$1.16	\$1.01

e. Summary – Comparable Developments

The multi-family residential (apartment) properties discussed above shares key characteristics with a potential project at Kiliaen's Landing such as geography, demographic appeal, neighborhood characteristics, physical and economic considerations, and/or waterfront access. These comparable properties fall into the upscale/luxury rental housing category, which has been determined a potential use of the Kiliaen's Landing site by previous studies and involved parties. This type of housing appeals to professionals with the means to afford upscale housing and a preference to rent.

Apartment units at these developments range in size from studio units to three-bedroom apartments, and in all cases most units fall into the one-bedroom and two-bedroom categories. Square footage and monthly rents can vary significantly within a development, depending on the characteristics of an individual apartment model. The size of units is somewhat stable across these properties, reflecting a regional standard for livable dimensions. Monthly rents vary with apartment size, but are generally higher on a per-square-foot basis for the urban properties. This observation is likely due in part to the fact that the urban-style properties are adaptive reuse projects with higher construction costs per square foot. In all cases, rents per square foot decline as unit size increases.

These observations are representative of patterns found throughout the Capital Region market. The characteristics of these comparable properties provide a basis for an analysis of the Kiliaen's Landing site. This market analysis applies these observations to a discussion of the Kiliaen's Landing site's market position. This analysis will considers economic and settlement trends in the Capital Region as described above, and provides recommendations for master planning based on the site's position within the regional market.

¹ Approximate – dimensions and rent vary by individual unit. Rents may be adjusted upward depending on individual apartment characteristics.

VII. MARKET ANALYSIS

a. Site Characteristics

Kiliaen's Landing has a distinguishing feature that sets it apart from almost any other development site in the Capital Region: Its 75 acres of waterfront land – within an urban area – offer direct access to the Hudson River and incredible views of the Albany skyline. This defining characteristic makes the site worthy of serious consideration for investment, and offers a natural advantage in the competitive Capital Region real estate market that cannot be replicated at other sites.

The site's topography and shoreline conditions present opportunities for construction up-gradient from the river's banks, particularly on the southeastern portion of the site, with waterfront amenities such as trails and direct access to the river via dock areas and/or boat launch facilities. Re-engagement with the region's waterways has been a focal point of planning and development trends, as well as targeted investment in recent years, and Kiliaen's Landing holds a prime location along a heavily populated stretch of the Hudson River.

While this prime waterfront location provides great market potential, this potential is accompanied by physical constraints. The site's low-lying elevation is partially, if not mostly, within the FEMA floodplain area. As such, site design and construction methods must maximize the use of unconstrained "buildable areas" and mitigate levels of risk of associated with investment in this waterfront site. A master plan should identify building footprint and parking facility locations allowing an optimal use of space on the site. The development's feasibility depends on its ability to generate revenue on a scale that clearly outweighs the costs and risks associated with flood-related and other site constraints.

A lack of visibility from the adjacent roadways represents another potential limitation of the Kiliaen's Landing site. Under current conditions, access is provided to the site by way of Tracy Street and Forbes Avenue which are neighborhood roads that connect with Broadway Avenue. From Broadway, I-90 and the Dunn Memorial Bridge can be accessed with a short drive. Rail lines bounding the site to the east and south at the Livingston Avenue Bridge limit movement in these directions. Under these conditions, the site's potential for commercial development – such as office or retail space – is limited due to the lack of visibility and through traffic on roadways leading to the site. Residential potential is affected to a lesser degree. Master planning for the site should explore options for improved connections between the Kiliaen's Landing site and existing road networks.

The Hilton Center, also known historically as the Barnet Mills Complex, is a vacant former industrial structure located east of the rail lines, in the central portion of the Kiliaen's Landing site. This structure is just inland of an existing boat launch on the Hudson River.

The CSX rail lines running across the Livingston Avenue Bridge from Downtown Albany and bordering the Kiliaen's Landing property to the south and east limit access to the site by blocking pedestrian and vehicular travel in these directions. While a master plan for the site will examine this issue and potentially offer measures to improve accessibility, it should be noted that the Livingston Avenue Bridge is due for major improvements. As part of this process, we understand that the addition of pedestrian access connecting Rensselaer with Albany via a new or improved rail bridge at this location has been discussed.

It is currently unclear what the outcome of these discussions will be, or when construction will occur. The level of benefit that a pedestrian connection at this bridge would provide to a development at the Kiliaen's Landing site, as well as DeLaet's Landing and the broad Rensselaer community cannot be overstated. A pedestrian bridge would provide a direct connection to employment centers and attractions in Downtown Albany, and would conversely encourage travel into Rensselaer by residents and employees of Albany. A pedestrian connection at the rail bridge would significantly enhance the market position of properties in this area.

While the current analysis provides an overview of the Capital Region real estate market and insights regarding the Kiliaen's Landing site's position within the market, it cannot attempt to determine the financial feasibility of development scenarios to be advanced later in the development process. The master planning process will produce conceptual site layouts and development programs in order to establish generic environmental impact thresholds. As the Kiliaen's Landing moves beyond the planning stages to detailed financial risk assessment and pro forma analysis, investors and development interests must consider bulk scenarios weighing the benefits and costs of development at various horizontal and vertical scales. The purpose of these analyses will be to examine returns on site investment and to determine levels of feasibility, financing needs and eligibility.

b. Community Characteristics

At a community scale, the City of Rensselaer presents an interesting balance of opportunity and uncertainty for real estate development. Rensselaer is known as an "ancillary city" within the Capital Region, and has experienced a period of decline as residents and jobs have migrated to other areas. Some neighborhoods and commercial areas throughout the city have deteriorated, and property values have generally declined or lag behind other communities in the region. There is plenty of opportunity to reverse this dynamic. Collaboration between public and private interests, as with the current Kiliaen's Landing project, is needed to reinvent the City of Rensselaer as a community of choice for residents and businesses moving into the 21st Century.

Kiliaen's Landing is a little less than one mile north of the Albany-Rensselaer Station, which brings more than 800,000 travelers directly to the center of Rensselaer each year. The train station is a major asset due to its potential to showcase nearby locations in the City of Rensselaer, as well as its potential to drive demand for housing among frequent travelers to downstate locations and New York City. Improvements to the train station area are a crucial piece of the Rensselaer redevelopment puzzle. The Washington Street/Broadway just west of the station possesses some of the traditional urban characteristics of a district ripe for investment. City officials have indicated that the improvement of these areas is a priority in the near term.

Just north of the Albany-Rensselaer Station, a large-scale waterfront development has been proposed at the 25 acre DeLaet's Landing site. Following an unsuccessful bid to procure a casino license for this site, developer U.W. Marx has moved forward with the planning and construction of a mixed-use development on the site. Earlier in 2016, the City of Rensselaer approved plans to construct a 96-unit luxury apartment building on the site. SUNY Polytechnic has plans to construct a satellite clean energy facility on the site, and future development could include additional housing, commercial development, or some combination thereof.

Delaet's Landing shares a number of similarities with Kiliaen's Landing. Both are large-scale waterfront properties across the Hudson River from Albany, within the City of Rensselaer. Accordingly, the sites are similarly positioned within the region's real estate landscape. Both are conducive to residential and residential/commercial mixed use development, and both sites are central to a transformation of the City of Rensselaer waterfront.

It is also important to recognize some key differences between these properties. With construction of the apartment building beginning this year, the DeLaet's Landing project is likely three to five years ahead of a Kiliaen's Landing project according to typical development timeframes. Delaet's Landing is more centrally located and accessible than Kiliaen's Landing – Delaet's Landing provides easier access from Broadway and across the Dunn Memorial Bridge, and stands to benefit more immediately from improvements centered proximate to the train station and surrounding area.

The construction underway at DeLaet's Landing has begun a transformation of the Rensselaer waterfront. As the project moves forward, it will potentially draw hundreds of new residents into the city along with new offices and other commercial activity. Parallel efforts are underway to improve areas directly surrounding the train station, with potential transfer of spinoff benefits between this area and the DeLaet's Landing site.

The timing of these improvements leaves an important role for Kiliaen's Landing in the reinvention of the Rensselaer waterfront. Beyond a short-term timeframe, Kiliaen's Landing and Delaet's Landing are positioned to benefit mutually as centerpieces of a transformed Rensselaer waterfront. As DeLaet's Landing advances through various stages of construction and tenant procurement, Kiliaen's Landing may benefit from the ability to monitor the progress of this nearby project while conducting its own pre-development planning. This is a risk-mitigating advantage, as development at Kiliaen's Landing will be able to gauge levels of demand and identify potentially unmet market needs based on the performance of DeLaet's Landing. The DeLaet's project will establish a hub of population and activity that is closer to the Kiliaen's Landing site than any existing property similar in scale. This will diminish the significance of some issues for Kiliaen's Landing related to geographic separation and accessibility. Kiliaen's Landing will have an opportunity to advance a cohesive transformation of the Rensselaer waterfront while benefiting from momentum provided by the DeLaet's Landing project. The timeframes of these projects allow Kiliaen's Landing the advantage of entering the market at a more mature point in the larger waterfront transition.

Opportunities to connect these developments by way of trails or possibly roadway enhancements should be explored, as both would benefit from movement among waterfront destinations. Together, the two projects will provide a critical mass that provides stability and cohesion while potentially attracting further growth. To this effect, the City of Rensselaer has already commenced discussions about locating a trail through the rail yard property between Kiliaen's Landing and DeLaet's Landing.

Based on trends and growth projections for the Capital Region, modest levels of population increase are anticipated over the foreseeable future, i.e. twenty year timeframe. The region has experienced a slight withdrawal in government-related employment in recent years. These losses have been offset by expansions in private industry included high-tech sectors drawn to the Capital Region by major investments in nanotechnology, advanced manufacturing, energy, bioscience, and infrastructure

designed to nurture growth in 21st Century industry. Parties involved in the Capital Region's tech-related economic development initiatives are working to ensure that these 21st Century industries find a permanent home here with the room and support needed to grow. The future looks favorable for the Capital Region to improve its economic standing on a large scale, with the benefits of increased population and capital to be distributed throughout the region. The Kiliaen's Landing project is moving forward under a timeframe that will allow it to harness the site's advantages as the region expands its prosperity.

Industrial expansion east of the Hudson River, particularly along the Route 4 corridor and in the vicinity of I-90, is favorable for settlement in the Rensselaer area. Regeneron expects to employ nearly 2,500 people (including 1,300+ new jobs) within approximately two miles (east) of the Kiliaen's Landing site. The GE Healthcare facility employs approximately 150 people in North Greenbush, and the Rensselaer Tech Park houses a number of smaller tech companies. Rensselaer County is becoming a center of bioscience industry within the Capital Region, and the resulting influx of high-quality tech jobs has the potential to generate demand for high-quality housing options in locations with easy access to these employment centers, including the City of Rensselaer.

Housing options in the vicinity of Kiliaen's Landing east of the river include a combination of single and multi-family homes within Rensselaer proper, and suburban-style apartment complexes outside the city in North and East Greenbush. Rensselaer neighborhoods featuring single and multi-family homes have experienced a general decline over the past two decades due to a lack of new investment in the area. These neighborhoods hold a strong appeal to residents with standing connections to the Rensselaer community, as well as first-time homeowners and renters who are attracted to the affordable cost of living and convenient location. Suburban apartment complexes in the area vary widely in quality and cost; The Mansions at Technology Park and the Stonegate Luxury Apartments in North Greenbush (see Section VI) represent the high end of suburban apartment communities in the immediate area.

Upscale suburban apartment complexes appeal to residents who prefer generous living dimensions, moderate densities, convenient access, and for some, familiar surroundings after previous experience living in suburban neighborhoods. Empty nesters and young families may be particularly drawn to these developments. The comparable developments described in Section VI are among the newer suburban-style apartment communities in the area, and have high occupancy rates.

In recent years, residential development has experienced a shift favoring the construction of apartments in urban areas, in contrast to the long-standing practice of suburban sprawl into previously undeveloped areas. This trend has been brought forth in part by the preferences of the millennial generation which prefers to live in higher-density settings that facilitate social interaction and offer in-place cultural and professional opportunities (see Section V). The trend towards apartment development has taken hold in the Capital Region, as well as areas throughout the country, with strong demand for urban apartment dwellings expected to continue for the foreseeable future. Upscale urban apartment communities represent the "new modern" in residential real estate.

c. Development Opportunities

With its waterfront location directly across the river from Downtown Albany, Kiliaen's Landing provides a very good setting for the development of an upscale apartment community. To date, the 96 unit

apartment building at DeLaet's Landing represents the only planned development of this format on the east side of the Hudson River in the vicinity of Rensselaer. Given the option of living in higher-density apartment options within the city proper, many residents – and particularly those who value the interaction and cultural amenities found in such settings – will prefer to live in an apartment community like Kiliaen's Landing over suburban-style apartment communities that become increasingly outdated with time. Apartment buildings at Kiliaen's Landing would be multiple stories in height, located and oriented to maximize use of the site. The first phase of apartment construction at DeLaet's Landing includes a four-story building; for planning purposes, development at Kiliaen's Landing should maintain some consistency with this and other waterfront development in the area, with assumed heights in the range of 4-8 stories.

Investors and development interests should continue to monitor supply conditions during the project's pre-development stages. Changes in the competitive landscape – such as additional phases of apartment development at DeLaet's Landing – are likely to occur over the approximately 3 to 5 year lead-up to construction at Kiliaen's Landing. As general guidelines, the additional construction of 200 or more apartment units in the immediate urban area (Rensselaer/east side of Hudson River) or occupancy rates remaining below 95 percent at the DeLaet's Landing apartment complex for an extended time may signal a need to closely examine development plans and seek adjustments to ensure a successful project. However, in the absence of unanticipated market changes, a well-planned apartment development at Kiliaen's Landing has excellent potential as a successful development project that will advance a transformation of the Rensselaer waterfront to the benefit of the community and region.

Based on an extensive review of apartment communities throughout the Capital Region, including the comparable properties detailed in Section IV, we can identify many of the physical characteristics and amenities that will be important in creating a viable Kiliaen's Landing development.

A combination of studio, one-bedroom, and two-bedroom apartment units is appropriate for a development at Kiliaen's Landing. Apartments in these size categories appeal to the target populations who tend to occupy upscale housing in urban areas. Studio apartments are suited to the needs of graduate students, single young professionals, and traveling professionals who may occupy the units on a part-time basis, and offer an affordable housing option. Singles and couples ranging from Millennials to empty nesters favor apartments in the one- to two-bedroom size range. The inclusion of three-bedroom units would introduce some uncertainty regarding demand, as well as potentially inefficient use of space. As a baseline unit distribution for planning purposes, an approximate range of 10% percent studio units, 30% one-bedroom units, and 60% two-bedroom units may be appropriate.

The site's waterfront location provides an excellent setting for upscale/luxury housing. Given its location in the upward-trending "auxiliary city" of Rensselaer, housing at Kiliaen's Landing may not support rental rates at the region's high end, such as the luxury rates in Downtown Albany, Troy or Saratoga.

Rehabilitated buildings also tend to command higher rates due to complex renovations and unique features. For example, monthly rents per square foot for one bedroom apartments at The Lofts at 733 Broadway and The Lofts at Harmony Mills are in the range of \$1.40-\$1.45 per square foot; rents for two-bedroom units in these buildings stand at \$1.44 and \$1.22 per square foot, respectively. By comparison, monthly rents at the suburban (North Greenbush) Mansions at Technology Park and Stonegate Luxury

apartments are in the \$1.25-\$1.35 range for one-bedroom units and \$1.04-\$1.19 range for two-bedroom units.

Important target populations for this housing project – including young professionals, graduate/healthcare students, transient employees from government-related fields, and new residents moving to the area as a result of tech industry growth – are likely to emphasize value as well as luxury in the Rensselaer market. To the degree possible, rents should be contained at levels comparable to market average rents, in the range of upscale suburban apartment communities in the area. As target values, studio unit rents of approximately \$1.30 per square foot, one-bedroom apartment rents of approximately \$1.25 per square foot and two-bedroom rents of approximately \$1.20 would offer a cost-competitive alternative to suburban complexes while offering a more desirable, modern setting. Rents in this range would be slightly less than at the nearby DeLaet’s Landing apartments, which is appropriate given slight differences in location and accessibility.

As a cost- and rent-containing approach, apartment units can be designed at livable, modern dimensions that promote the efficient use of space and energy while appealing to small-sized households. Open floor plans allow flexible use of space as residents adapt living areas to suit their personal needs. Efficiency is considered smart and tasteful in modern housing, and may be particularly appealing to Millennials and professionals who value sustainability and accept slightly more compact living spaces. In line with this thinking, the following dimensions can be considered as baselines for planning purposes: Studio/one bath units 550-650 sf, one-bedroom/one bath units 800-900 sf, two-bedroom/1.5 bath units 1,000-1,100 sf.

Following is a summary of proposed apartment unit distribution with baseline dimension and rent levels to be targeted at this stage of project planning. It is expected that these numbers will be refined during pre-construction pro forma analysis and detailed planning stages, and that a number of factors could result in variation from these preliminary recommendations.

Bedrooms	Bathrooms	Percent Total Units	Square Footage	Target Monthly Rent/SF	Monthly Rent
Studio	1	10%	600	\$1.30	\$780
One Bedroom	1	50%	800-900	\$1.25	\$1,000-\$1,125
Two Bedroom	1.5	40%	1,000-1,100	\$1.20	\$1,200-\$1,320

Absorption rates, which represent the rate at which apartment units are leased at a development, reflect the level of demand for the type of housing being offered. In the Capital Region, absorption rates are generally in the range of 10-20 units per month¹. Absorption of housing at Kiliaen’s Landing will depend on a number of factors, including the size, cost, and features of the project as well as external factors such

¹ DeLaet’s Landing Apartments comprehensive Market Study. GAR Associates, Inc. June 2012.

as the introduction of new jobs and/or residents to the area, and competition for tenants by other developments in the community and region. Absorption potential should be revisited when the development's characteristics and a tentative development schedule are established.

Apartment units in the region are typically accompanied by one guaranteed parking space. A Kiliaen's Landing development should provide one guaranteed parking space to a resident of each unit. Based on ITE standards¹, apartment structures up to and including four stories require 1.4 parking spaces per unit and structures five to eight stories in height require approximately 2.0 spaces per unit to accommodate residents and guests. Master planning for the site will establish buildable areas for the site and surface-level parking capacity. Depending on the development's size at full buildout, it is possible (or likely) that subsurface and/or multi-level parking structures will be needed, resulting in increased construction costs.

Each apartment unit should include a washer and dryer, heating/air conditioning with thermostat control, modern/stainless kitchen appliances, and high (9') ceilings in line with competing housing developments in the region. High-end ceramics and granite countertops are staples in the current luxury market, and while these materials are appealing to many, they may not be appropriate in all units when it is important to maintain competitive market-rate rents. We suggest that the use of new, high-quality and sustainable materials for flooring, countertops, cabinetry and other finishings can provide a means to reduce cost without sacrificing modern appearances or quality.

The addition of balconies to some units will capitalize upon the Kiliaen's Landing waterfront setting, which is the site's most important and defining feature. Westward-facing units overlooking the Hudson River and Downtown Albany skyline should include private balcony spaces. Differentiating features such as balcony space and waterfront views should be reflected by adjustments to monthly rents for different units at the development.

It is important for Kiliaen's Landing to provide community amenities that facilitate interaction among residents, allow community or private gatherings and events, and provide exercise/recreational opportunities. At a minimum, these community amenities should include conference/event rooms, common lounge area, fitness center, and outdoor patios and walkways extending along the waterfront.

The Hilton Center structure provides opportunities for adaptive reuse, potentially as a residential (apartment or condominium) or mixed-use property. As a former industrial building, this building has unique features that could be incorporated with a different use in the future. However, the building should be examined for structural integrity and feasibility for reuse, as well as financial feasibility, because it appears to need substantial improvement. Additionally, its close proximity to the CSX rail line may limit its potential for adaptive reuse.

Master planning and generic environmental review for the Kiliaen's Landing project is being supported by the New York State Energy Research and Development Authority (NYSERDA) Cleaner Greener Communities program based on the stated goal of achieving high levels of sustainability in neighborhood and structural design, as well as energy efficiency. From a market perspective, sustainable development represents a selling point that is likely to appeal to target populations including young and tech-oriented

¹ Institute of Traffic Engineers Parking Generation, 4th edition.

professionals. Energy efficient design, infrastructure, and materials can be used to create a modern setting in line with many residents' views and lifestyle choices that support sustainability. A proper balance must be achieved to ensure that sustainable practices at Kiliaen's Landing are viewed as modern, innovative and efficient, as opposed to inconvenient or costly. Ongoing collaboration with NYSERDA, along with potential participation in future funding programs, will help to achieve a sustainable development product with enhanced marketability as a result of these efforts.

A phased approach to development is anticipated at the Kiliaen's Landing site in order to gauge market trends, allow maturation of the Rensselaer market, and to maintain a degree of flexibility over the course of the site's buildout. Master planning should consider the merits of locating the first phase of construction either at the southern end of the site to take advantage of proximity to central Rensselaer and the DeLaet's Landing development, or in the vicinity of access points and the boat launch further north on the site. It is recommended that residential buildings be phased with individual buildings containing roughly 100-120 units. This phasing strategy would allow the development team to continue to monitor market conditions and occupancy rates while making adjustments to future phases as new information and opportunities come forth. The site's capacity for apartment units will be determined in part by the master plan.

As project costs come into focus later in the pre-development process, investors and other development interests must evaluate these costs against revenues and uncertainty as part of a pro-forma financial analysis. Pending the outcome of such analyses, it will be important for the project to proceed with active participation and support from public agencies including the City of Rensselaer, Rensselaer County, and NYSERDA. Economic development parties including the City of Rensselaer IDA and/or Rensselaer County IDA should be actively involved in the development process; open dialogue should occur relative to development incentives potentially available in the form of tax exemptions, PILOT agreements or other economic development tools that may be used to support investment in the project.

d. Mixed Use and Commercial Opportunities

It is important to consider some level of mixed use at Kiliaen's Landing. The conventional urban development practice of providing commercial space on first and lower levels (i.e. retail, dining, office) with upper-floor housing may or may not be a sound alternative at Kiliaen's Landing. In terms of enhancing the property's appeal as a destination and housing location, dining and/or retail would provide amenities appealing to residents and help to create a socially active setting. The waterfront location provides opportunities for outdoor seating and connections to DeLaet's Landing, and these conditions may be favorable to retail and/or dining. Office uses may be viable within the development's multi-story buildings, either in the form of professional office suites or potentially a larger-scale anchor tenant capable of leasing significant floor space.

The Kiliaen's Landing site also provides opportunities to construct independent commercial buildings to meet the needs of specific tenants or development partners. Buildable areas will be identified during the master planning process, with potential building footprints established. Stand-alone dining, retail, or other business spaces may be considered as potential uses for buildable space on the site, with the opportunity cost of foregone residential space and the benefits of increased activity and visitation of the property among the factors considered.

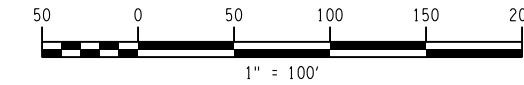
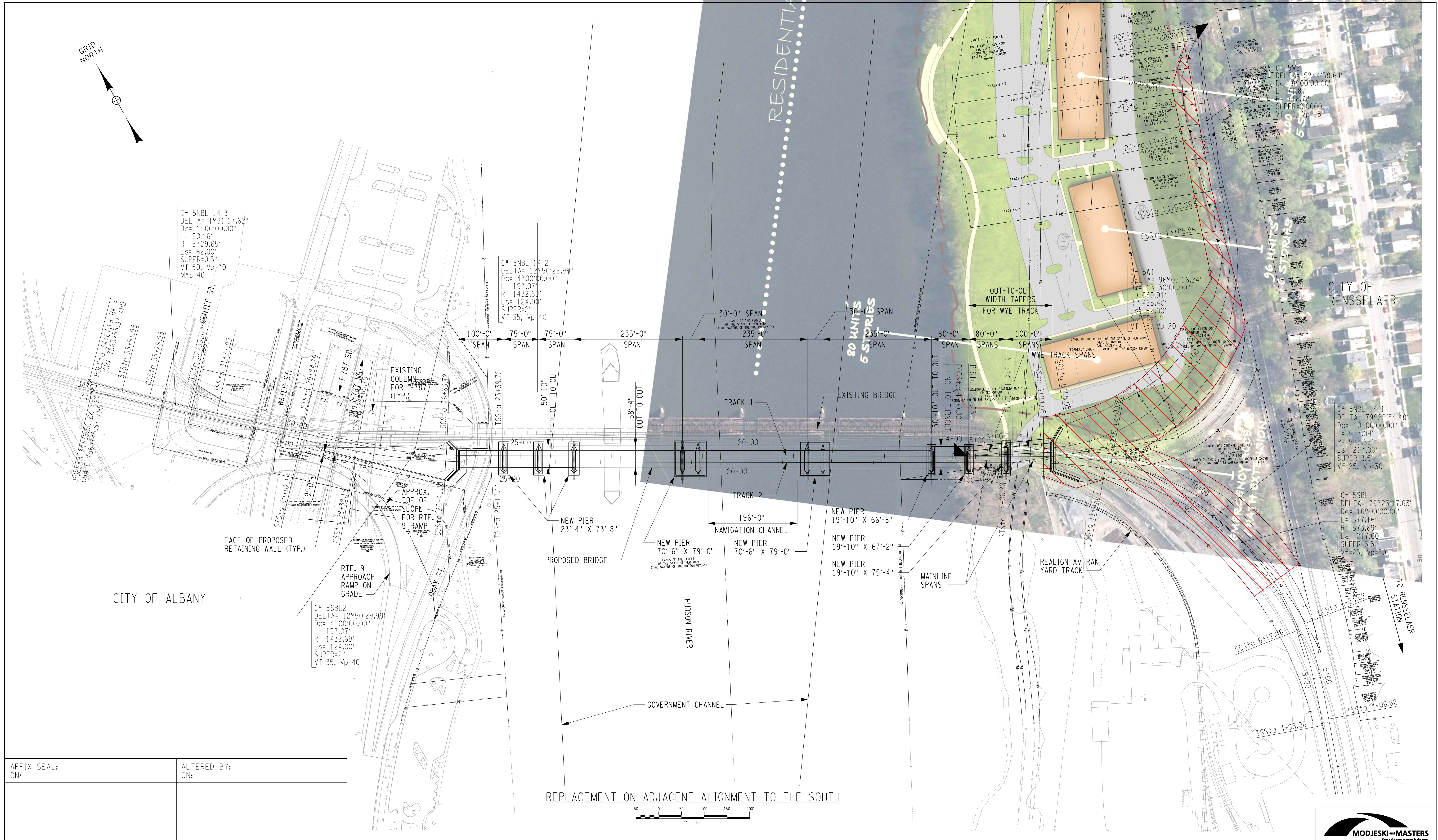
Limited visibility and access stand as potential barriers to attracting commercial uses that depend on high-volume patronage, and the site's susceptibility to flooding is particularly unfavorable to operations involving the use of sensitive equipment, manufacturing, or high-tech industry. On a positive note, the site provides visibility from across the river in Albany to the west. City and county industrial agencies should remain engaged as partners by providing site selection and other economic development services.

VIII. SUMMARY OF RECOMMENDATIONS

A summary of recommendations of the Market Study prepared for Kiliaen's Landing is as follows.

- The site's waterfront location provides a very good setting for multi-story residential (apartment) uses. A trend favoring upscale/luxury apartments spaces is well underway in the Capital Region, and is expected to continue in the foreseeable future.
- The site may support some mixed use. This could include small scale first-floor retail or dining, professional office space within the residential structure, or the construction of independent commercial buildings in addition to residential development.
- The Hilton Center structure provides opportunities for adaptive reuse, potentially as a residential (apartment or condominium) or mixed-use property.
- The project should highlight its waterfront setting by including features such as balconies, outdoor common areas, river access, and trails...
- Market conditions should be closely monitored by investors and developers during the project's pre-development stages, including the progress of DeLaet's Landing just south of Kiliaen's Landing. This will provide a more accurate gauge of demand and identify potentially unmet market needs based on the performance of DeLaet's Landing.
- A combination of studio, one-bedroom, and two-bedroom apartment units in structures 4-8 stories in height is appropriate for this site. Based on its location, housing at Kiliaen's Landing may not support rents at the region's very high end of the residential market. Cost containing measures such as the use of modern, efficient materials and limiting apartment unit dimensions can help to maintain affordability.
- A phased approach to development at Kiliaen's Landing should be considered to gauge market trends, allow maturation of the Rensselaer market, and to maintain a degree of flexibility over the course of the site's buildout.
- Sustainable design and construction practices should be used to create a modern setting that appeals to many residents seeking apartment housing in urban areas.
- Active participation and support from public agencies including the City of Rensselaer, Rensselaer County, and NYSERDA is important to the overall success of the project. Economic development agencies including the City of Rensselaer IDA and/or Rensselaer County IDA should be actively involved in the development process; open dialogue should occur relative to development incentives potentially available in the form of tax exemptions, PILOT agreements or other economic development tools that may be used to support confident investment in the project.

Appendix 4
Livingston Avenue Bridge Alternatives



AFFIX SEAL: ON: ALTERED BY: ON:

AS-BUILT REVISIONS DESCRIPTION OF ALTERATIONS:

COUNTY: ALBANY

PIN 1935.49
DATE: 12/16/14

BRIDGES CULVERTS

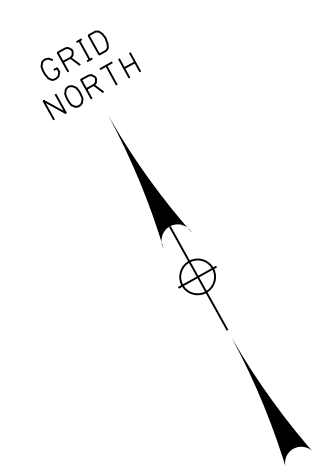
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LIVINGSTON AVENUE BRIDGE PROJECT

MODJESKI and MASTERS
Experience great bridges.

CONTRACT NUMBER	
DRAWING NO. SA-1 SHEET NO.	

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NEW YORK STATE DEPARTMENT OF TRANSPORTATION
DOCUMENT NAME:

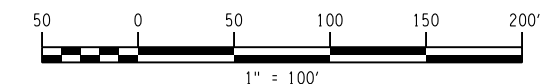


PROJECT MANAGER
CHECK
DRAFTING
CHECK
DESIGN
JOB MANAGER
DESIGN SUPERVISOR

FILE NAME = \$FILE\$
DATE/TIME = \$DATE\$ \$TIME\$
USER = \$NTUSER\$



REPLACEMENT ON ADJACENT ALIGNMENT TO THE NORTH



AFFIX SEAL:
ON:

ALTERED BY:
ON:

AS-BUILT REVISIONS
DESCRIPTION OF ALTERATIONS:

COUNTY: ALBANY

PIN 1935.49
DATE: 12/16/14

BRIDGES
CULVERTS

ALL DIMENSIONS IN FT UNLESS OTHERWISE NOTED
LIVINGSTON AVENUE BRIDGE PROJECT

CONTRACT NUMBER
DRAWING NO. NA-1
SHEET NO.



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NEW YORK STATE DEPARTMENT OF TRANSPORTATION
DOCUMENT NAME:

Appendix 5
Phase 1A Literature Review and Sensitivity
Assessment



Parks, Recreation, and Historic Preservation

ANDREW M. CUOMO
Governor

ROSE HARVEY
Commissioner

August 30, 2017

Ms. Shannon Wright
Hartgen Archeological Associates, Inc.
1744 Washington Ave, Ext.
Rensselaer, NY 12144

Re: USACE
Kiliaen's Landing
Along the Hudson River shorefront between Livingston Avenue bridge to the border
with North Greenbush, Rensselaer, Rensselaer County, NY
17PR05503

Dear Ms. Wright:

Thank you for requesting the comments of the State Historic Preservation Office (SHPO). We have reviewed the project in accordance with Section 106 of the National Historic Preservation Act of 1966. These comments are those of the SHPO and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the National Environmental Policy Act and/or the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8).

New York SHPO has reviewed the Phase 1A Archaeological Survey and has the following comments:

1. Made-land that was formally within the Hudson River channel does not need to be tested for archaeological resources.
2. Areas that have been previously disturbed (and can be documented) do not need to be tested for archaeological resources. If there is a potential for buried ground surfaces the depth of disturbance will need to be considered.
3. All remaining areas should be assessed for their potential to contain deeply buried original ground surfaces. Once a design is chosen and the vertical Area of Potential Effect established it can be determined where deep testing may be needed. It would be prudent to consult with a geomorphologist.
4. Please provide a map showing the former shoreline areas, areas that are disturbed, areas where deep testing may be needed, and areas where shovel testing is recommended. Some of this is addressed in the 1A report but it has not been distilled into one figure that clearly illustrates where Phase 1B field testing is recommended.

Division for Historic Preservation

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • www.nysparks.com

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above. I can be reached at 518-268-2160 or dan.bagrow@parks.ny.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Bagrow', with a long horizontal flourish extending to the right.

Daniel A. Bagrow
Scientist (Archaeology)



HARTGEN

archeological associates inc

PHASE IA LITERATURE REVIEW AND SENSITIVITY ASSESSMENT
Kiliaen's Landing Master Plan and Generic Environmental Impact Statement

City of Rensselaer
Rensselaer County, New York

HAA # 5081-11

Submitted to:

Jean Loewenstein
CHA design/construction solutions
p. 518.453.8771
e. jloewenstein@chacompanies.com

Prepared by:

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e hartgen@hartgen.com

www.hartgen.com

An ACRA Member Firm
www.acra-crm.org

March 2017

MANAGEMENT SUMMARY

SHPO Project Review Number: *Not yet assigned*

Phase of Survey: *LA*

LOCATION INFORMATION

Municipality: *City of Rensselaer*

County: *Rensselaer County*

SURVEY AREA

Length: *1.36 miles*

Width: *0.12 mile*

Acres: *Approximately 75 acres*

RESULTS OF RESEARCH

Archeological sites within one mile: *Twelve*

Surveys in or adjacent: *Five*

NR/NRE sites in or adjacent: *Twenty four*

Precontact Sensitivity: *Moderate*

Historic Sensitivity: *Moderate to High*

RECOMMENDATIONS

The probability of intact precontact or historic archeological sites within the Study Area is generally low. Most of the Study Area consists of made land, cut and fill land, or were formerly low-lying flats that have since been filled. These area do not warrant further archeological investigation.

The area around Forbes Avenue and Central Avenue has moderate potential for archeological remains of the ice houses, the ferry, and other early activities associated with the Bath-on-Hudson settlement. Archeological survey is recommended for any proposed development within this area.

Report Authors: *Elizabeth Horner, Amy Wilson, Matthew J. Kirk*

Date of Report: *March 2017*

ABSTRACT

Hartgen Archeological Associates, Inc. completed a Phase IA Literature Review and Sensitivity Assessment for the Kiliaen's Landing Project, situated along the eastern shores of the Hudson River, in the City of Rensselaer, Rensselaer County, New York. The Project encompasses approximately 75 acres.

A historic map review, soil survey, and previous archeological surveys in the vicinity showed extensive disturbance throughout much of the Project. The USDA soil survey has characterized most of the Project as udorthents, indicating large areas of soil disturbance. Shoreline areas along this section of the Hudson River were heavily modified during the late 19th and 20th centuries. Surveys south of Tracy St, within the current Project, were noted to be disturbed by filling and some modern construction activities. It was noted that this area is comprised of made land that is not considered archeologically sensitive. However, the soil survey showed the possibility of intact soils in the north. Two precontact sites are located towards and within the northern section of this Project, and two NRE structures stand in the central section of the Project.

Based on previous surveys completed within the current Project and adjacent to the Project, the archeological potential for this area is generally low. The large wooded portion of the Study Area consists of made land and formerly low-lying flats that have been filled. The area around Hilton Center (formerly the Barnet & Sons Shoddy Mill) is largely cut and fill.

The area around Forbes Avenue and Central Avenue, has moderate archeological potential. Although the Larner Terminal Corporation and extant house within the Study Area may have disturbed earlier deposits, there is some potential for intact historic archeological remains associated with the ice houses, the ferry, and other early activities associated with the Bath-on-Hudson settlement. Archeological survey is recommended for any proposed development within this area.

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Photograph List

- Photo 1. View southeast of southern section of Project. This area is categorized as a filled area on the soil survey. An overlay of the 1867 Army Corps of Engineers map indicates that this portion of the Study Area was formerly within the Hudson River.
- Photo 2. View southeast of a Rensselaer County Sewer District building from the 1970s located within the Study Area.
- Photo 3. View southwest of the hummocky terrain typical of the southern portion of the Study Area.
- Photo 4. View southeast of the 1790s Clark-Dearstyne-Miller Inn (07NR05792). This property is adjacent to the Study Area and is listed on the National Register of Historic Places.
- Photo 5. View northeast of the Patroon Agent's (Casparus Pruyn) House and Office, constructed in 1838 (90NR01002). This house is adjacent to the Study Area and is listed on the National Register of Historic Places.
- Photo 6. View southwest of the house at 20 Riverfront which dates to the 1950s. This is the location of a former ferry landing shown on the 1861 Lake & Beers map.
- Photo 7. View west. The 1861 Lake & Beers map depicted ice houses in this area.
- Photo 8. View north of the site of the former Larner Terminal Corporation, which included to large oil storage tanks with capacities of 500,000 and 1 million gallons.
- Photo 9. View southwest of the former Larner Terminal Corporation facility.
- Photo 10. View southwest of a loading platform associated with the former Larner Terminal Corporation. At far left, is a railroad spur that served the facility.
- Photo 11. View northeast of the Forbes Avenue Boat Launch.
- Photo 12. View northeast of the parking area associated with Forbes Avenue Boat Launch. This was formerly the location of the Rensselaer Water Company Pumping Station, which was constructed between 1876 and 1909.
- Photo 13. View northeast of the Hilton Center Office Building constructed after 1952.
- Photo 14. View east of a concrete or cinder block structure dating to between 1909 and 1949. The building was formerly used for rag storage. Part of the former William Barnet & Son's Shoddy Mill Complex (08341.001134).
- Photo 15. View northeast of the former William Barnet & Son's Shoddy Mill Complex (08341.001134), now known at Hilton Center.
- Photo 16. View northeast of the northern extent of the former William Barnet & Son's Shoddy Mill Complex (08341.001134).
- Photo 17. View east of an area that has been cut and filled for the parking area in the foreground and for Forbes Avenue in the near distance. This was the former location of a 20th-century rag storage warehouse.
- Photo 18. View east of a circa 1950 concrete block garage.
- Photo 19. View southwest of Barnet & Sons Rayon and Wool Shoddy Mill constructed between 1909 and 1949 (08341.001133).
- Photo 20. View southwest of Barnet & Sons Rayon and Wool Shoddy Mill (08341.001133).

Photo 21. View northeast. To the right are large fill piles at the foot of the slope that rises to the east.

Photo 22. View north. Based on the 1867 Army Corps of Engineers map, which depicts the shoreline as having been adjacent to the railroad visible in the lower right corner, this area is made land claimed from the river.

Photo 23. View west of a low-lying area with an elevated ridge along the current shoreline. This area is made land.

Photo 24. View southeast of the Study Area beneath the Patroon Island Bridge.

Photo 25. View south of an access road used for parking during the recent reconstruction of the Patroon Island Bridge (I-90).

Photo 26. View southwest of all-terrain vehicle trails prevalent in the area north of the I-90 bridge overpass.

Photo 27. View west taken from the approximate location of the former river shoreline. Based on an overlay of the 1867 Army Corps of Engineers map, this area is made land.

Photo 28. View east. In the foreground the land is cut, with low-lying terrain in the middle of the view.

Photo 29. View north of the hummocky terrain characteristic of much of the northern end of the Study Area.

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PHASE IA LITERATURE REVIEW

1 Introduction

Hartgen Archeological Associates, Inc. (Hartgen) conducted a Phase IA literature review and archeological sensitivity assessment for the proposed Kiliaen's Landing project (Project) located in the City of Rensselaer, Rensselaer County, New York. The investigation was conducted according to the New York Archeological Council's *Standards for Cultural Resource Investigations and the Curation of Archeological Collections* (1994), which are endorsed by OPRHP. This report has been prepared according to OPRHP's *State Historic Preservation Office (SHPO) Phase I Archeological Report Format Requirements* (2005).

1.1 Project Information

The Project is located in the City of Rensselaer, Rensselaer County, New York. The area is roughly bounded by the Hudson River, Livingston Avenue Bridge, CSX Railroad, and the City's boundary with the Town of North Greenbush. There are currently no specific development proposals for the Study Area. For the purposed of this study it is assumed that the area of potential effects (APE) of future development proposals will encompass approximately 75 acres.

2 Environmental Background

The environment of an area is significant for determining the sensitivity of the Project for archeological resources. Precontact and historic groups often favored level, well-drained areas near wetlands and waterways. Therefore, topography, proximity to wetlands, and soils are examined to determine if there are landforms in the Project that are more likely to contain archeological resources. In addition, bedrock formations may contain chert or other resources that may have been quarried by precontact groups. Soil conditions can provide a clue to past climatic conditions, as well as changes in local hydrology.

2.1 Present Land Use and Current Conditions

The portion of the Study Area south of Tracy Street is characterized by hummocky terrain of unnatural appearance (Photos 1-3). A dirt path runs the length of this area, which is occupied by a facility of the Rensselaer County Sewer District. To the north of Tracy Street, there is a mid-20th century house within the Study Area near the location of a 19th-century ferry and ice houses (Photo 6-7).

North of Central Avenue is a mostly un-vegetated area, formerly the site of the Larner Terminal Corporation, which contained two large oil storage tanks (Photos 8-10). Continuing to the north, the Study Area is occupied by Hilton Center and the Forbes Avenue Boat Launch. The boat launch includes a small greenspace, a boat launch and a parking area (Photos 11-12). The current Hilton Center Office Building (Photo 13) post-dates the former Barnet & Son's Shoddy Mill Complex that constitutes most of Hilton Center (Photos 14-20). The various buildings that constitute the shoddy mill mostly date to the first half of the 20th century.

To the north of Hilton Center, the Study Area is situated to the west of the CSX railroad lines. This area is mostly wooded, with hummocky terrain. Low-lying wet areas dot the landform (Photos 21-29). The Patroon Island Bridge traverses the Study Area (Photo 24).

2.2 Soils

Soil surveys provide a general characterization of the types and depths of soils that are found in an area. This information is an important factor in determining the appropriate methodology if and when a field study is recommended. The USDA soil survey has characterized most of the Project as udorthents, human-modified soils (Map 3). The two udorthent soil categories within the Project derive from filled areas with a wet substratum (Ue), and cut and fill areas (Ud).

The filled areas with a wet substratum (Ue) are now mostly forested and include large areas formerly within the river channel. The cut and fill area (Ud) encompasses the portion of the Study Area is that was developed during the 19th and 20th centuries. Small portions of the Study Area are categorized as limerick silt loam, a poorly drained soil that formed at the base of the slope that rises to the east of the Project. The portion of the Study Area east of the Hilton Center (former Barnet & Sons Shoddy Mill Complex) is steeply sloped and contains Hoosick gravelly sandy loam.

Table 1. Soils in Project

Symbol	Name	Depth	Textures	Slope	Drainage	Landform
Ue	Udorthents, sandy	0-152 cm (0-60 in)	Very gravelly loamy sand	0-15%	Excessively drained	Filled areas that were previously tidal marshes, river flood plains, bays, harbors, and swamps
Ud	Udorthents, loamy	0-152 cm (0-60 in)	Loam	0-8%	Well drained	Cut and fill
LmA	Limerick silt loam, 0 to 3 pct slopes	0-20 cm (0-8 in) 20-152 cm (8-60 in)	Silt loam Silt loam	0-3%	Poorly drained	flood plains/ toeslope
HoE	Hoosick gravelly sandy loam, steep	0-15 cm (0-6 in) 15-71 cm (6-28 in)	Gravelly sandy loam	0-60%	Excessively drained	Glacial outwash

2.3 Bedrock Geology

The bedrock in this area consists of Middle Ordovician age Canajoharie Shale of the Lorraine, Trenton, and Black River Groups. There are no bedrock outcrops within the Project.

2.4 Physiography and Hydrology

The Project is situated within the Hudson-Mohawk Lowlands physiographic province where it occupies low-lying terrain adjacent to the east side of the Hudson River. While this stretch of the river is today a single channel, historically there were several islands nearby (e.g. Van Rensselaer Island, Patroon Island) and a widening of the river at Albany. Dredging and channelization have caused large-scale modifications to the riverfronts. A small unnamed drainage formerly crossed the northern portion of the Project before the CSX rail line modified its flow.

3 Documentary Research

Hartgen conducted research using the New York State Cultural Resource Information System (CRIS), which is maintained by the New York SHPO and the Division for Historic Preservation DHP within OPRHP. CRIS contains a comprehensive inventory of archeological sites, State and National Register (NR) properties, properties determined eligible for the NR (NRE), and previous cultural resource surveys.

3.1 Archeological Sites

An examination of CRIS identified 12 reported archeological sites within approximately one-half mile (1.6 km) of the Project (Table 2), on the east bank of the Hudson River. Previously reported archeological sites provide an overview of both the types of sites that may be present in the Project and relation of sites throughout the surrounding region.

Table 2. Archeological sites within one mile (1.6 km) of the Project

OPRHP Site No.	NYSM Site No.	Site Identifier	Description	Proximity to Project
-	NYSM 4579	A.C. Parker	Camp	Within project
-	NYSM 5622	A.C. Parker	Traces of occupation	Adjacent to north
08341.001111	-	Philip Carner Pottery Site #1	Late 18 th -century potter – A 1767 record mentions a “Pottebacker” in this area.	215 feet east

OPRHP Site No.	NYSM Site No.	Site Identifier	Description	Proximity to Project
08341.001114	-	PCI/SP 4 Conductor Early 20 th c. Foundation	Buried traces of foundation detected with structural subdivisions apparent, below ground surface. Remnants of concrete and cobble foundation, with exterior basement staircase and concrete pillars. Possibly associated with a rifle range. Domestic and architectural materials dating to the early 20 th century.	105 feet east
08341.001110	-	Philip Carner Pottery Site #2	Existing 18 th -century stone structure, built around 1743. Used as a pottery, and later as a tannery and residence by the Woods family, close relatives of Carner, in the early 1800s. Evidence of mid-1800s industry present. House contains a secret passageway and a sub-basement.	370 feet east
08341.001127	NYSM 12310	Livingston Avenue Site #2	Complete superstructure, dated mid to late 19 th century. Artifacts included bottles, tea/tablewares, coal, cinder, buttons, kitchen bone, and other personal artifacts	205 feet east
08341.001128	NYSM 12311	Livingston Avenue Site #3	Complete superstructure dated mid to late 19 th century. Artifacts included bottle glass, table and teawares, spikes, plastic fragments, toys, and other household items.	195 feet southeast
08341.001129	NYSM 12312	Livingston Avenue Site #4	Complete superstructure dated mid to late 19 th century. Artifacts included table and teawares, children's toys, architectural debris, green and aqua bottle glass, and other household debris.	550 feet southeast
08341.001122	-	Railroad Roundhouse Site	1909-1954, Owned by New York Central and Hudson River Railroad. Artifacts included sawn wooden planks, iron nails, screws, and spikes	2,570 feet south
08341.001123	-	Hudson River RR Freight Building Historic Site	Constructed c. 1858, appears on maps until c. 1900. Owned by Hudson River Railroad (1861) and Boston and Albany Railroad (1891).	2,600 feet south
08341.001101	-	Quackenderry Creek Historic Site	Surface traces and subsurface brick floor with associated artifacts including salt-glazed stoneware, assorted glass types, and building materials.	2,375 feet east
-	NYSM 7374	J. Sopko	Archaic Projectile Points	2,750 feet southeast

The closest precontact sites are a precontact camp site within the Project and “traces of occupation” adjacent to north end of the Project (NYSM 4579 and 5622). These sites were reported by Arthur C. Parker in the early 20th century. The sites were mapped in a general manner and are shown to cover large areas mostly encompassing the upland terrain to the east which overlooks the Project area and the river.

The closest historic site is the PCI/SP 4 Conductor early 20th century foundation. Both the Philip Carner Pottery Site #1 and #2 are also close to the Project. These date to the mid- to late- 18th century. The Philip Carner Pottery Site #2 is extant at the corner of Broadway and Tracy Street. Additionally, the Livingston Avenue Sites #2 and #3 were 19th-century structures and are close to the southeastern boundary of the Project. No historic archeological sites lie within the Project.

3.2 Historic Properties

An examination of CRIS identified four NR properties and 20 NRE properties within one-quarter mile of the Project (Table 3).

Table 3. Inventoried properties within the Project

USN/NR No.	Property Name	Status	Description	Location and Proximity to Project
90NR01001	Beverwyck Manor	NRL	Constructed between 1839 and 1842 with English estate architectural influences. Historically important as the home of William Van Rensselaer.	855 feet east
90NR01002	Patroon Agent's House and Office	NRL	Casparus Pruyn House and Office 15 Forbes Avenue Completed in 1839. Historical connections to Anti-Rent Wars, to the Van Rensselaers, and to the city of Rensselaer. Significant Greek Revival architecture.	70 feet east
07NR05792	Clark-Dearstyne-Miller Inn	NRL	11-13 Forbes Avenue Former 19 th -century tavern/hotel, constructed soon after 1791 and in use until at least the 1920s. Federal style architecture.	130 feet east
12NR06368	Van Rensselaer High School	NRL	199 Washington Avenue Constructed in the 1930s in the Art Deco style of architecture.	600 feet east
08341.000997	1225 Third Street	NRE	No information available	1,290 feet southeast
08341.001000	1233 Third Street	NRE	No information available	1,275 feet southeast
08341.001005	1306 Third Street	NRE	No information available	1,330 feet southeast
08341.001012	1333 Third Street	NRE	No information available	1,060 feet southeast
08341.001018	1353 Third Street	NRE	No information available	1,050 feet southeast
08341.001062	1527 Third Street	NRE	No information available	1,100 feet east
08341.001087	St. Joseph's Parsonage	NRE	1620 Third St	1,120 feet east
08341.001088	M. Waterbury	NRE	1628 Third St	1,120 feet east
08341.001090	1638 Third Street	NRE	No information available	1,130 feet east
08341.001091	J.S. Powell	NRE	1639 Third St	1,015 feet east
08341.001093	W.G. Snow	NRE	1646 Third St	1,100 feet east
08341.001133	Rag Storage Building / Hilton Center	NRE	20 Forbes Ave Former William Barnet & Son Shoddy Mill Complex	Within project
08341.001134	Garnet House & Factory building / Hilton Center	NRE	20 Forbes Ave Former William Barnet & Son Shoddy Mill Complex	Within project
08341.001139	1227 Broadway	NRE	No information available	730 feet southeast
08341.001140	1229 Broadway	NRE	No information available	700 feet southeast
08341.001141	1233 Broadway	NRE	No information available	680 feet southeast
08341.001142	1237 Broadway	NRE	No information available	660 feet southeast
08341.001143	1307 Broadway	NRE	No information available	520 feet southeast
08341.001144	1311 Broadway	NRE	No information available	500 feet southeast
08341.001145	1300 Second Street	NRE	No information available	1,080 feet southeast

3.3 Previous Surveys

A review of CRIS identified five previous surveys within the immediate vicinity of the Project (Table 4).

Table 4 Relevant previous surveys within or adjacent to the Project

Project/Phase	Summary	Citation
PIN 1935.49.171 Livingston Avenue Bridge, Architectural Survey	Four sites identified; three sites in the vicinity of the current Project. The Livingston Avenue Bridge and associated viaduct, built in 1901-03, are National Register Eligible structures.	(New York State Museum 2011)
Hudson River PCBs Superfund Site, Phase I	This project surveyed the area within the current Project south of Tracy St. It noted that this site was comprised of made land that is not considered archeologically sensitive. Only modern debris and a modern (post-1950) foundation were present within the boundaries. No further work recommended due to disturbance and property history.	(Panamerican 2004)
Electric Transmission Project, Phase I	Location SP-3 was located on the former Patroon Island, which first appeared on an 1866 map indicating it was manmade; the soil surveys indicated the same idea. Shovel tests confirmed presence of modern trash debris Location SP-4 had received several episodes of fill deposition since 1876. Filled and graded land and modern trash debris were recorded for a number of these tests, and the soil survey also supports this conclusion. A 1925-50 MDS foundation was found in the lower portion of the SP4 APE and was designated Site PCI/SP-4 Conductor, though the foundation itself had no integrity and no significant cultural resources were identified at this location. No further work was recommended	(Panamerican 2005)
Doane Stuart School Letter Report	This survey contained some overlapping information including several archeological sites and two NRL historic properties. OPRHP had designated this project area archeologically sensitive due to its close proximity to numerous documented resources. Phase IB testing was recommended, in addition to determining potential eligibility for listing the former Van Rensselaer school building on the State and National Registers. This study may be partially inside our APE.	(Hartgen 2008)
Proposed Condominiums, Phase I	Project area was found to be covered with deep fill, and the old riverbank was east of the project. The river channel was thought to have existed formerly in this location, and it is plausible that this area is built land over a former aquatic environment. Abundant 20 th -century and occasional 19 th (and possibly 18 th -) century artifacts were found in different gravel and loam soils, although these were in fill contexts. A 20 th -century foundation without cultural material was located. No precontact cultural materials were found. No evidence of Van Rensselaer Island was found beneath the deep fills.	(Curtin 1988)
Rensselaer Waterfront Development Project	A combined archeological and geomorphological study revealed deep deposits of dredge spoils and other fill levels. No buried A or B soil horizons were encountered leading to the conclusion that there are not likely to be any precontact, contact period, or colonial deposits in the Rensselaer Waterfront Development project area.	(Hartgen 2009)

The Livingston Avenue Bridge roughly marks the southern boundary of the Project. Some of the NRL/NRE structures identified in this survey may impact the Project's archeological sensitivity. The survey encompassed a small section of the current Project, the southern tip. This report also notes that the channel separating Van Rensselaer Island from the mainland was filled in to accommodate railroad improvements at the turn of the century (New York State Museum 2011).

The section of the Project encompassed by the Hudson River PCB Superfund Site was noted to be disturbed by filling and some modern construction activities. This survey encompassed the southernmost portion of this Project's APE, heading north to around Tracy St. It was noted that this site is comprised of made land that is not considered archeologically sensitive. Only modern debris and a modern (post-1950) foundation were present within the boundaries. No further work recommended due to disturbance and property history. (Panamerican 2004).

The Electric Transmission Project's SP-4 location lies northeast of the Garnet House and Factory Building (08341.001134) and the Rag Storage Building (08341.001133) and just outside the Project. Filled and graded land and modern trash debris were recorded for a number of these tests which indicates the possibility of disturbance in the Project areas nearby (Panamerican 2005).

The Proposed Condominiums survey was completed bordering the railroad tracks near Tracy St. This is located within the Project, south of Tracy Street near the Forbes Avenue Pumping Station. Deep fill and disturbance was also noted in this area, and a 20th-century foundation without cultural material was located during this survey, which is within the current Project as well. The excavations appear to have been roughly bounded by the railroad tracks to the east (the current Project's eastern boundary as well), Tracy St. to the north, and an access road visible on current maps to the west (although the project boundary does not actually reach the edge of this road) (Curtin 1988).

Overall, the surveys seemed to note a high prevalence of made land and disturbed soils in the vicinity of the Project, which is in agreement with the USDA soil survey that characterized most of the Project as udorthents, indicating large areas of soil disturbance. Man-made Patroon Island, and the filled channel near Van Rensselaer Island in addition to fill and other disturbances in the area from construction and railroad activities indicate the possibility of a low archeological potential in these areas.

4 Historical Review

The Study Area is in the northwestern portion of the present City of Rensselaer, near the former Village of Bath-on-Hudson. The 1767 Bleeker map (Map 4) depicts two nearby structures, the John Cranel house (#57), and an unlabeled structure, which is likely the extant stone house at 1551 Broadway. Neither of these buildings was likely within the Project.

Bath-on-Hudson was named after mineral springs discovered there in the 18th century. "John Maude, an English traveler, in June, 1800, visited the place; which he described as 'a town lately laid out by the patroon,' and having 'about thirty houses,' 'The medicinal springs and baths, at one time so much vaunted, are now shut up and neglected; yet, as a watering place, it was to have rivaled Ballstown, and as a trading place, Lansingburgh and Troy'" (Weise 1886:32). Little seems to have changed in the next half-century; Bath in the mid-19th century was still a small enclave, mostly clustered within a four-block area around Central Avenue (formerly North Ferry Street) and Broadway (Rogerson 1854).

Following construction of the Troy to Greenbush Railroad (now the CSX rail road) in 1840-1841 (Weise 1886:254), Bath did begin to grow. By 1861, numerous blocks had been subdivided and were beginning to be developed up the slope to the east to the present 6th Street.

Improvements to the navigable channel of the Hudson River during the late 19th and 20th centuries lead to large changes to the shoreline as dredged soil were used to fill shallow flats. Two maps in particular depict the historic shoreline in reference to the "government dyke," which approximates the modern shoreline (Army Corp of Engineers 1867-1868; Van Rensselaer Park 1905) (Maps 6 and 7).

In 1906, William Barnet & Sons moved their business from Albany to Bath-on-Hudson and constructed new wool shoddy mills within the Project. The plant was mechanized making use of steam boilers and a Westinghouse dynamo to power the washing, dyeing, carbonizing, pickering, carding, and conveying of quantities of stock. The mill was equipped with sprinklers and the accompanying offices were with bathrooms and showers. The train and ferry both made stops near the mill on the half-hour (Fabric 1906; Sanborn Map Company 1909).

4.1 Map-Documented and Existing Structures

Each past or current structure within the Project is assigned a unique structure number. Map-documented structures—those structures that are depicted on one or more maps—are distinguished using the abbreviation “MDS” after the structure number (e.g. Structure 3 (MDS)). Each MDS is labelled on the corresponding map(s).

Table 5. Summary of map-documented and existing structures within the Project/APE

Structure #	Bleeker 1767 (Map 4)	Lake & Beers 1861 (Map 5)	Sanborn 1909 (Map 8)	Sanborn 1949 (Map 9)	Extant (2017)	Notes
1	X					#57: “John Cranel” Likely located on top of the hill to the east of the Project
2	X					Likely the extant, mid-18 th century, stone house at 1551 Broadway (08341.000011) located 300 feet east of the Project
3		X				Structure near park
4		X				“Rail Road”
5		X	X [“ruins” and “vacant”]			“Ice House”
6		X	X			Adjacent to ice house
7			X	X		“Rensselaer Water Co. Pumping Station,” including filter plant and coal shed
8			X	X	X	“WM Barnet & Son Mutual Risk,” Shoddy Mill Complex Garnet House & Factory building (USN 08341.001134)
9			X			“Shed”
10a			X			Dwelling
10b			X			Shed associated with MDS 10a
11			X			“Ice House”
12a			X	? [“No Exposure”]		Boat house near slip
12b			X	X		Boat house near slip
13a				X		Dwelling NE of Rag Storage No. 3
13b				X		Associated private garage
14				X	X	“Rayon & Wool Shoddy Mill” - Shoddy Mill Complex Rag Storage Building (USN 08341.001133)
15				X	X	“Rag Storage”
16				X		Storage buildings
17a				X		“Shoddy Storage”
17b				X		“Shoddy Storage”
18				X		“Larner Terminal Corp’n” Loading Shed
19a				X	X	Dwelling with associated storage building (attached)
19b				X	X	Associated private garage

Structure #	Bleeker 1767 (Map 4)	Lake & Beers 1861 (Map 5)	Sanborn 1909 (Map 8)	Sanborn 1949 (Map 9)	Extant (2017)	Notes
20					X	
21					X	
22					X	

5 Archeological Sensitivity Assessment

The New York Archaeological Council provides the following description of archeological sensitivity:

Archaeologically sensitive areas contain one or more variables that make them likely locations for evidence of past human activities. Sensitive areas can include places near known prehistoric sites that share the same valley or that occupy a similar landform (e.g., terrace above a river), areas where historic maps or photographs show that a building once stood but is now gone as well as the areas within the former yards around such structures, an environmental setting similar to settings that tend to contain cultural resources, and locations where Native Americans and published sources note sacred places, such as cemeteries or spots of spiritual importance (NYAC 1994:9).

5.1 Precontact Archeological Sensitivity

The precontact sensitivity of an area is based on proximity to previously documented precontact archeological sites, known precontact resources (e.g. chert outcrops), and physiographic characteristics such as topography and drainage. Generally, areas in the vicinity of streams and wetlands are considered to have elevated sensitivity for sites associated with Native American use or occupation because they presented potential food and water sources as well as transportation corridors.

The proximity of the Study Area to a major river, the Hudson, might suggest a high precontact archeological sensitivity. Three precontact sites have been identified within a quarter mile of the Project, including the rough boundary of a camp that extends within the Project and traces of occupation adjacent to the north of the Project. However, these sites, reported by Arthur C. Parker in the early 20th century, were mapped in a general manner and are shown to cover large areas mostly encompassing the upland terrain to the east which overlooks the Study Area and the river. Further, environmental information and historic maps suggest that most of the area was originally low-lying flats, unattractive to human habitation. This information indicates a low precontact sensitivity for the Project.

5.2 Historic Archeological Sensitivity

The historic sensitivity of an area is based primarily on proximity to previously documented historic archeological sites, map-documented structures, or other documented historical activities (e.g. battlefields).

The earliest known development within Bath-on-Hudson appears to have been within the area bounded by Forbes Avenue, Washington Avenue, 1st Street, and Tracy Street. This area includes the stone house at 1551 Broadway (08341.000011, constructed mid-18th century), Clark-Dearstyne-Miller Inn (07NR05792, constructed 1790s), and the Patroon Agent's House and Office (90NR01002; constructed 1839). This area adjacent, but outside of the Study Area.

There are 19th-century, map-documented ice houses and ferry landing within the Study Area near Central Avenue. Structures are adjacent to the core area of Bath-on-Hudson, as described above. The sensitivity for historic archeological deposits is highest within this part of the Study Area.

There are two National Register eligible industrial complexes within the Study Area the Garnet House & Factory Building/Hilton Center (08341.001134) is a part of the former William Barnet and Son Shoddy Mill Complex, as is the Rag Storage building/Hilton Center (08341.001133). The mill was constructed in the first half of the 20th century and is unlikely to have significant associated archeological deposits that are informative of the operations or its occupants.

6 Archeological Potential

Archeological potential is the likelihood of locating intact archeological remains within an area. The consideration of archeological potential takes into account subsequent uses of an area and the impact those uses would likely have on archeological remains.

Based on previous surveys completed within the current Project and adjacent to the Project, the archeological potential for this area is generally low. The large wooded portion of the Study Area consists of made land and formerly low-lying flats that have been filled. The area around Hilton Center (formerly the Barnet & Sons Shoddy Mill) is largely cut and fill.

The area around Forbes Avenue and Central Avenue, has moderate archeological potential. Although the Larner Terminal Corporation and extant house within the Study Area may have disturbed earlier deposits, there is some potential for intact historic archeological remains associated with the ice houses, the ferry, and other early activities associated with the Bath-on-Hudson settlement.

7 Recommendations

The probability of intact precontact or historic archeological sites within the Study Area is generally low. Most of the Study Area consists of made land, cut and fill land, or were formerly low-lying flats that have since been filled. These area do not warrant further archeological investigation.

The area around Forbes Avenue and Central Avenue has moderate potential for archeological remains of the ice houses, the ferry, and other early activities associated with the Bath-on-Hudson settlement. Archeological survey is recommended for any proposed development within this area.

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Van Rensselaer Park

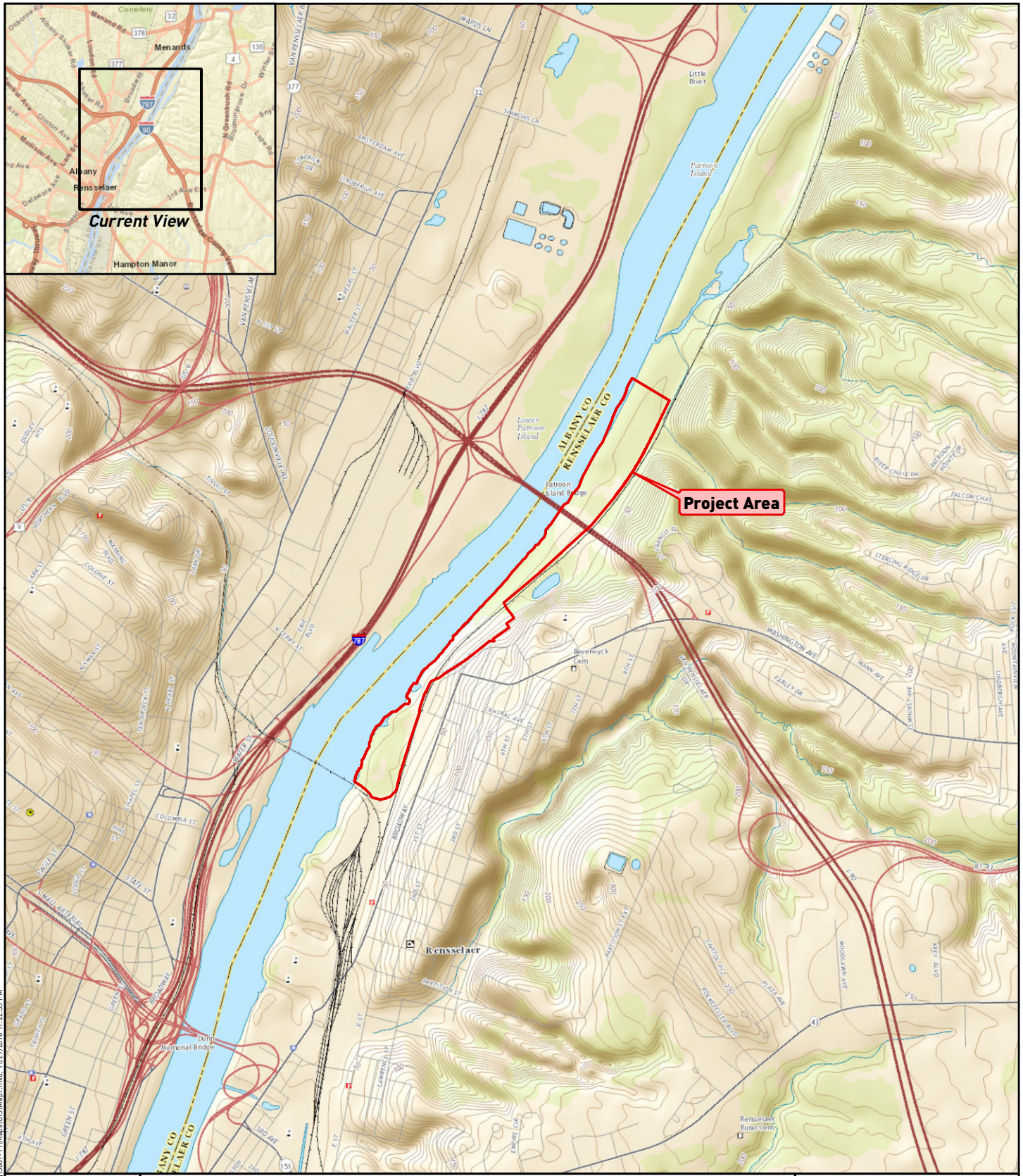
1905 Van Rensselaer Park, Forbes Manor, Rensselaer, New York. R.H. Rollins, Superintendent,
Forbes Mansion, Rensselaer, New York.

Weise, Arthur James

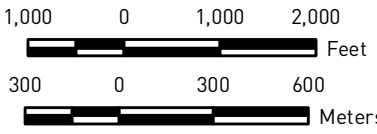
1886 *The City of Troy and Its Vicinity*. Edward Green, Troy, New York.

Maps

Kiliaen's Landing, City of Rensselaer, Rensselaer County, New York
 Phase IA Literature Review and Sensitivity Assessment



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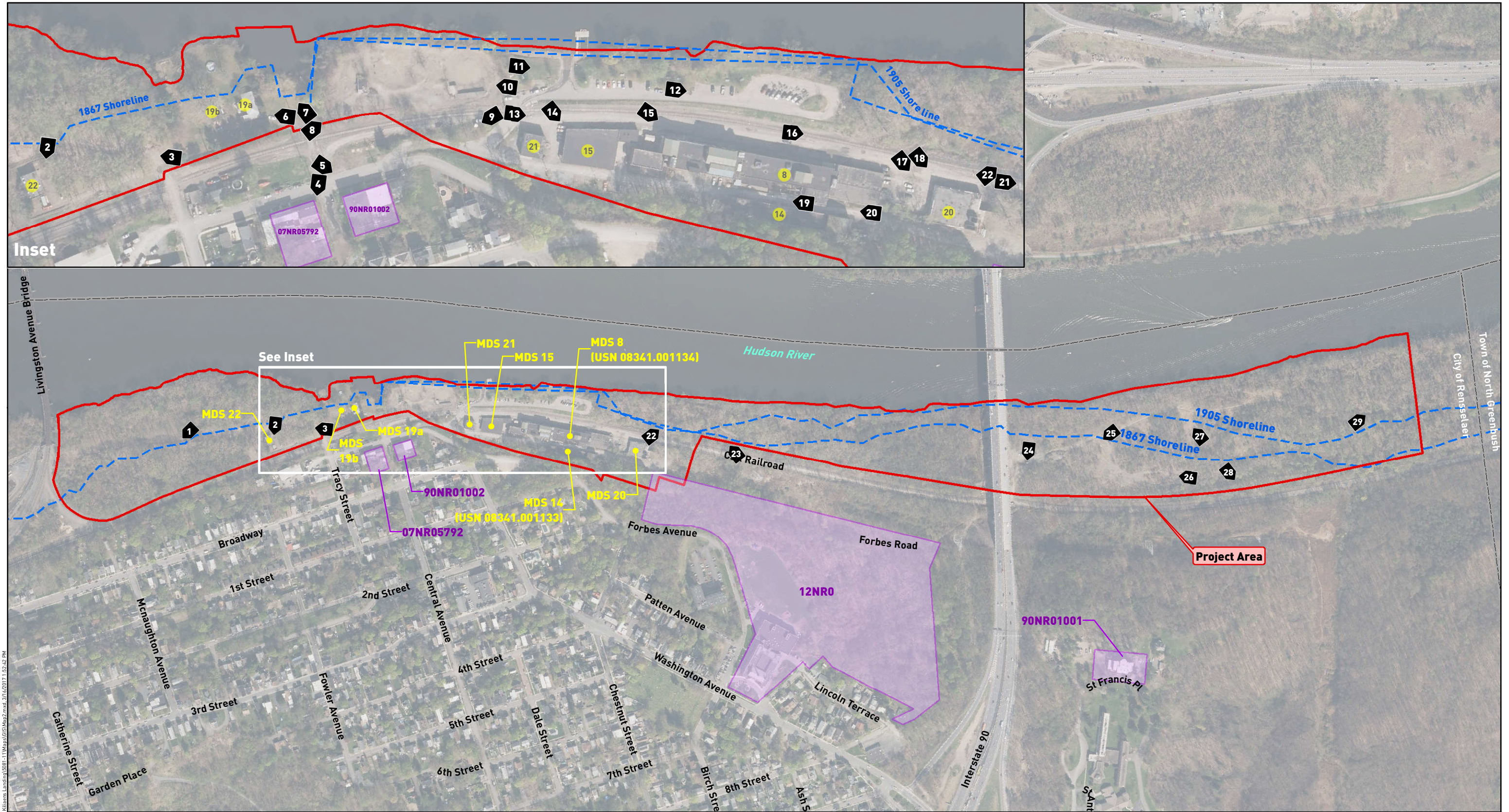


Project Location
 (USGS 2016)



HARTGEN
 archaeological associates inc

Map 1



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 Feet

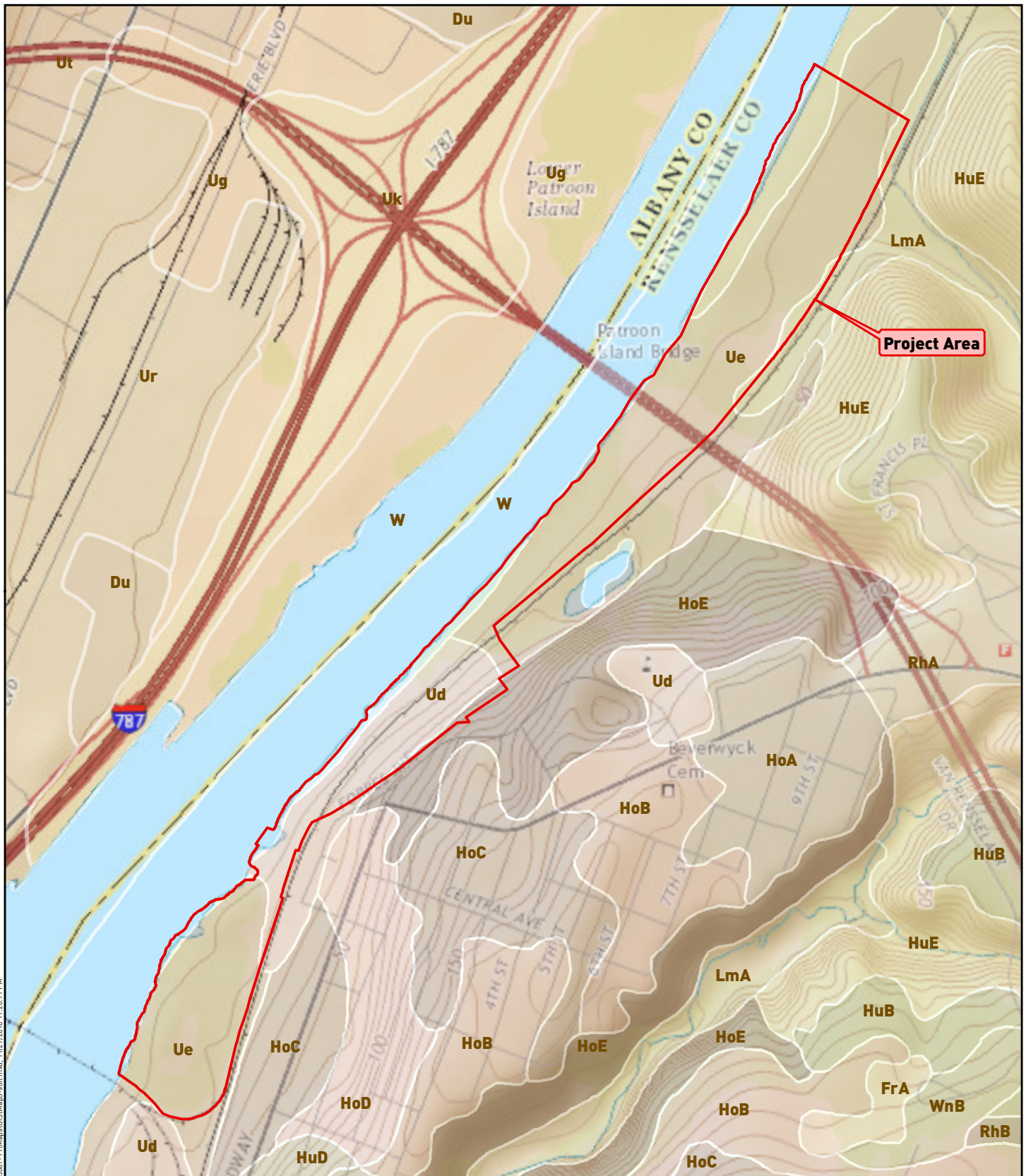
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Legend

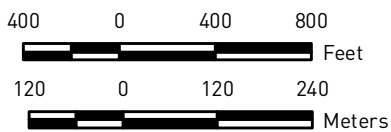
- Photo Angles
- Map-Documented Structures (MDSs)
- National Register Listed Properties
- Historical Shorelines
- Project Area

Project Map
 (Hartgen 2017; NYSITS 2014)

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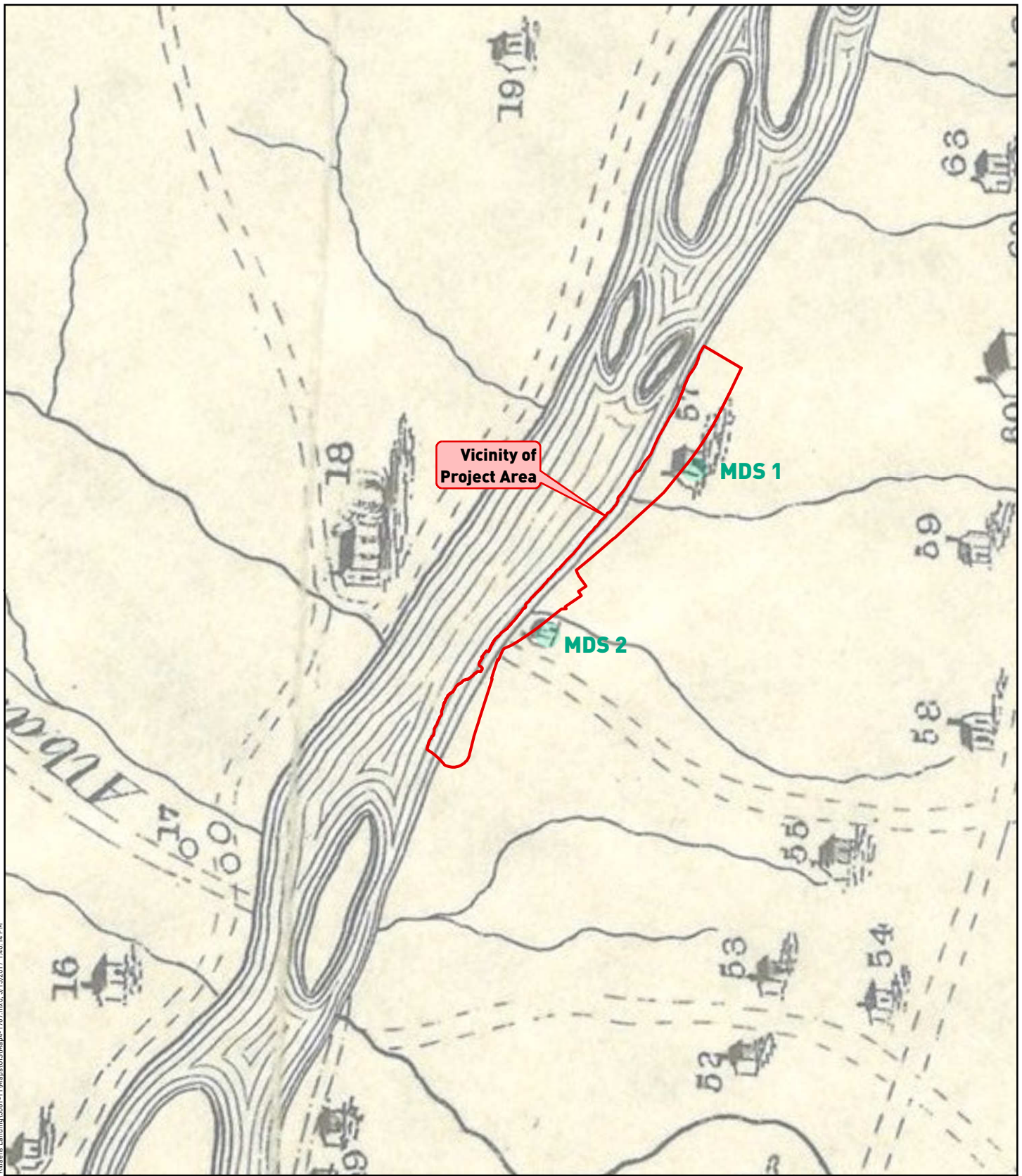


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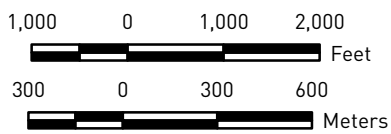


Soil Map
 (USDA NRCS 2006; USGS 2016)

HARTGEN
 archeological associates inc
Map 3



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Bleeker 1767

HARTGEN 
archeological associates inc

Map 4



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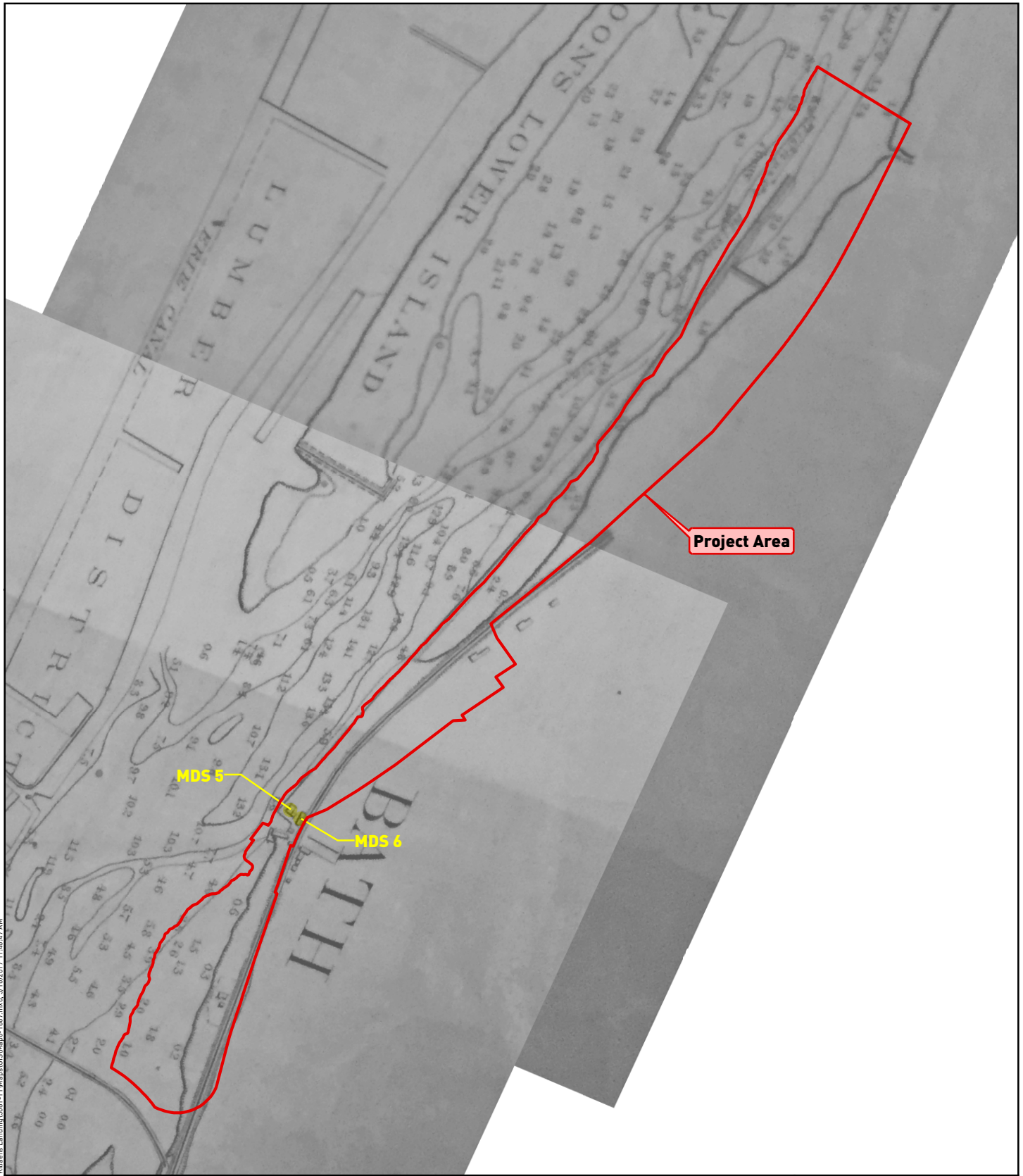


Lake & Beers 1861
over Modern Orthoimagery
(ACOE 1867, NYSITS 2014)



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archeological associates inc

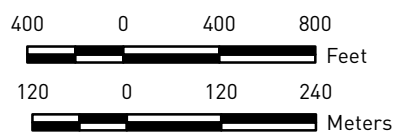
Map 5



Project Area

MDS 5

MDS 6

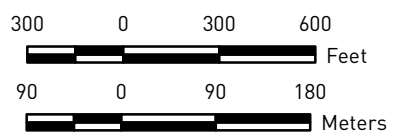


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Project Area

Current View

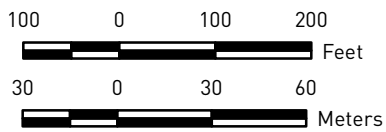


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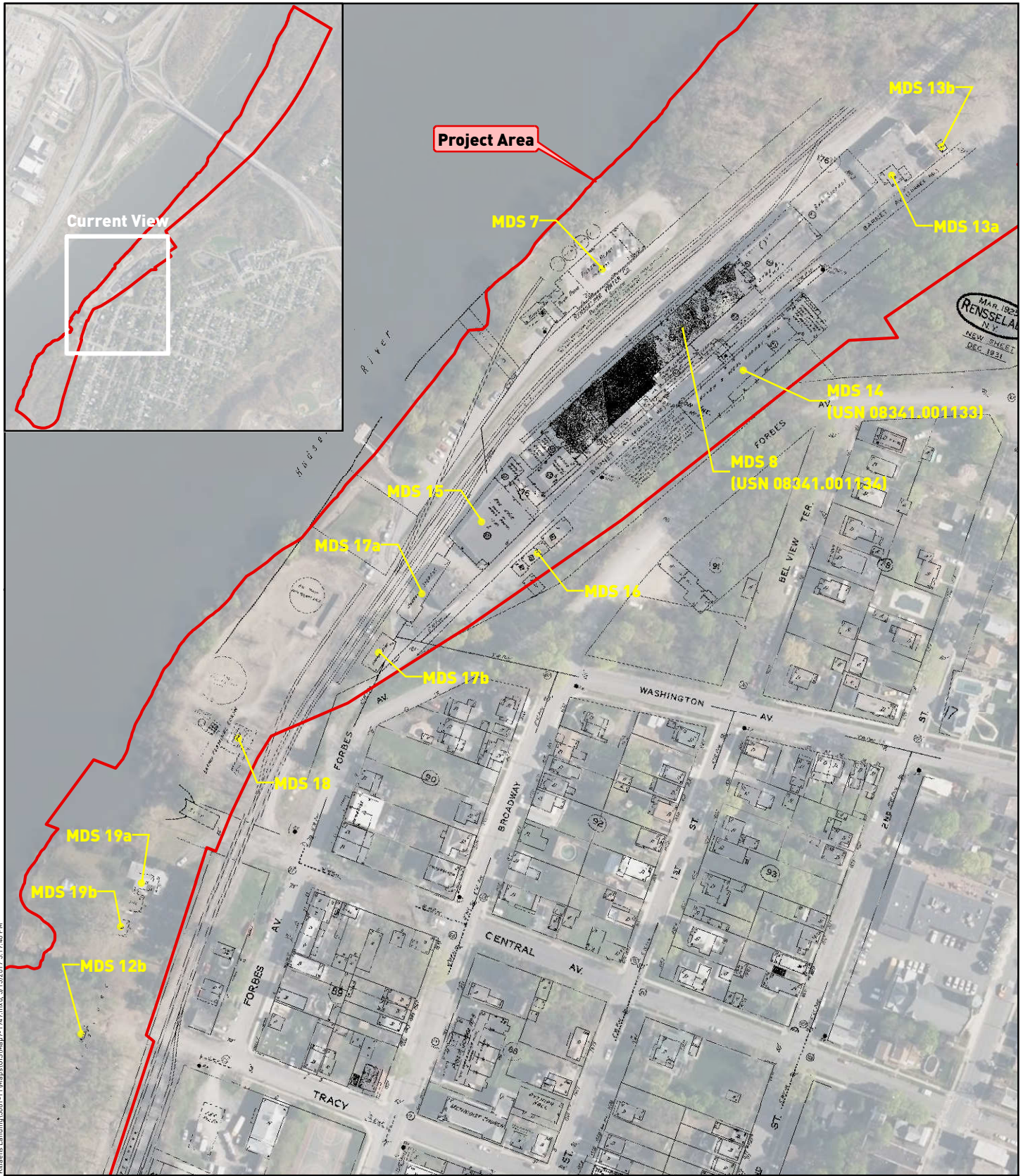
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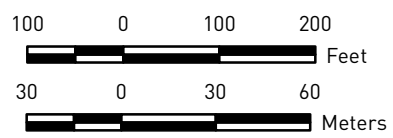
Sanborn 1909
 over Modern Orthoimagery
 (Sanborn 1909; NYSITS 2014)

HARTGEN
 archaeological associates inc

Map 8



\\ha-stakompany\active\projects\5081 - Kiliaen, Landing\GIS\Map9 - 1%_d.mxd, 3/13/2017 3:18:40 PM



Sanborn 1949
 over Modern Orthoimagery
 (Sanborn 1949; NYSITS 2014)



HARTGEN
 archaeological associates inc

Map 9

Photographs



Photo 1. View southeast of southern section of Project. This area is categorized as a filled area on the soil survey. An overlay of the 1867 Army Corps of Engineers map indicates that this portion of the Study Area was formerly within the Hudson River.



Photo 2. View southeast of a Rensselaer County Sewer District building from the 1970s located within the Study Area.



Photo 3. View southwest of the hummocky terrain typical of the southern portion of the Study Area.



Photo 4. View southeast of the 1790s Clark-Dearstyne-Miller Inn (07NR05792). This property is adjacent to the Study Area and is listed on the National Register of Historic Places.



Photo 5. View northeast of the Patroon Agent's (Casparus Pruyn) House and Office, constructed in 1838 (90NR01002). This house is adjacent to the Study Area and is listed on the National Register of Historic Places.



Photo 6. View southwest of the house at 20 Riverfront which dates to the 1950s. This is the location of a former ferry landing shown on the 1861 Lake & Beers map.



Photo 7. View west. The 1861 Lake & Beers map depicted ice houses in this area.



Photo 8. View north of the site of the former Larner Terminal Corporation, which included two large oil storage tanks with capacities of 500,000 and 1 million gallons.



Photo 9. View southwest of the former Larner Terminal Corporation facility.



Photo 10. View southwest of a loading platform associated with the former Larner Terminal Corporation. At far left, is a railroad spur that served the facility.



Photo 11. View northeast of the Forbes Avenue Boat Launch.



Photo 12. View northeast of the parking area associated with Forbes Avenue Boat Launch. This was formerly the location of the Rensselaer Water Company Pumping Station, which was constructed between 1876 and 1909.



Photo 13. View northeast of the Hilton Center Office Building constructed after 1952.



Photo 14. View east of a concrete or cinder block structure dating to between 1909 and 1949. The building was formerly used for rag storage. Part of the former William Barnet & Son's Shoddy Mill Complex (08341.001134).



Photo 15. View northeast of the former William Barnet & Son's Shoddy Mill Complex (08341.001134), now known as Hilton Center.



Photo 16. View northeast of the northern extent of the former William Barnet & Son's Shoddy Mill Complex (08341.001134).



Photo 17. View east of an area that has been cut and filled for the parking area in the foreground and for Forbes Avenue in the near distance. This was the former location of a 20th-century rag storage warehouse.



Photo 18. View east of a circa 1950 concrete block garage.



Photo 19. View southwest of Barnet & Sons Rayon and Wool Shoddy Mill constructed between 1909 and 1949 (08341.001133).



Photo 20. View southwest of Barnet & Sons Rayon and Wool Shoddy Mill (08341.001133).



Photo 21. View northeast. To the right are large fill piles at the foot of the slope that rises to the east.



Photo 22. View north. Based on the 1867 Army Corps of Engineers map, which depicts the shoreline as having been adjacent to the railroad visible in the lower right corner, this area is made land claimed from the river.



Photo 23. View west of a low-lying area with an elevated ridge along the current shoreline. This area is made land.



Photo 24. View southeast of the Study Area beneath the Patroon Island Bridge.



Photo 25. View south of an access road used for parking during the recent reconstruction of the Patroon Island Bridge (I-90).



Photo 26. View southwest of all-terrain vehicle trails prevalent in the area north of the I-90 bridge overpass.



Photo 27. View west taken from the approximate location of the former river shoreline. Based on an overlay of the 1867 Army Corps of Engineers map, this area is made land.



Photo 28. View east. In the foreground the land is cut, with low-lying terrain in the middle of the view.



Photo 29. View north of the hummocky terrain characteristic of much of the northern end of the Study Area.

Appendix 6
Site Photographs



Photo 1-View of boat launch and Hilton Center from Hudson River



Photo 2-View of site between boat launch and Livingston Avenue Bridge from Hudson River



SITE PHOTOGRAPHS

**Kiliaen's Landing GEIS
City of Rensselaer, Rensselaer Co., NY**



Photo 3-View of site in vicinity of Patroon Island Bridge from Hudson River



Photo 4-View from 11-13 Forbes Avenue north to boat launch and site driveway



SITE PHOTOGRAPHS

**Kiliaen's Landing GEIS
City of Rensselaer, Rensselaer Co., NY**



Photo 5- View from 11-13 Forbes Avenue to site access and private residence



Photo 6-View from Forbes Avenue to site between private residence and Livingston Avenue Bridge



SITE PHOTOGRAPHS

**Kiliaen's Landing GEIS
City of Rensselaer, Rensselaer Co., NY**



**Photo 7-View towards site from Broadway
between Washington Avenue and Central.**



**Photo 8-View overlooking Hilton Center from Forbes Avenue
near intersection with Broadway.**



SITE PHOTOGRAPHS

**Kiliaen's Landing GEIS
City of Rensselaer, Rensselaer Co., NY**



Photo 9- View towards site from Broadway at intersection with Central Avenue



Photo 10- View towards site from Broadway midblock between Central Avenue and Tracy Street



SITE PHOTOGRAPHS

**Kiliaen's Landing GEIS
City of Rensselaer, Rensselaer Co., NY**



**Photo 11-View from basketball court at corner of Broadway
and Tracy Street overlooking site**



**Photo 12-View from Broadway at intersection with
MacNaughton Avenue**



SITE PHOTOGRAPHS

**Kiliaen's Landing GEIS
City of Rensselaer, Rensselaer Co., NY**



Photo 13- View north towards sight from intersection of Tracy Street and Forbes Avenue



SITE PHOTOGRAPHS

**Kiliaen's Landing GEIS
City of Rensselaer, Rensselaer Co., NY**

Appendix 7
Hazardous Materials Screening

Kiliaens Landing

1489 Broadway

Rensselaer, NY 12144

Inquiry Number: 4880007.2s

March 15, 2017

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

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Thank you for your business.
 Please contact EDR at 1-800-352-0050
 with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

1489 BROADWAY
RENSSELAER, NY 12144

COORDINATES

Latitude (North): 42.6589150 - 42° 39' 32.09"
Longitude (West): 73.7333980 - 73° 44' 0.23"
Universal Transverse Mercator: Zone 18
UTM X (Meters): 603811.4
UTM Y (Meters): 4723502.0
Elevation: 28 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 5936283 TROY SOUTH, NY
Version Date: 2013

Northwest Map: 5936273 ALBANY, NY
Version Date: 2013

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20150607
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
1489 BROADWAY
RENSSELAER, NY 12144

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1	BOND RES BROADWAY AU	1489 BROADWAY	NY Spills		TP
Reg	HUDSON RIVER PCBS	NO STREET APPLICABLE	NPL, SEMS, RCRA-SQG, US ENG CONTROLS, US INST...	Same	1 ft.
B2		1 FORBES AVE	EDR Hist Auto	Lower	1 ft.
B3	JELLIFF VANDALIZED D	FORBES RD	NY Spills	Lower	1 ft.
B4	DPW TRUCK @ ROBERTS	8 TRACY ST	NY Spills	Higher	1 ft.
B5	POLSINELLO TERMINAL	FORBES & TRACY STREE	MOSF	Lower	1 ft.
B6	9 TRACY ST	9 TRACY ST	US BROWNFIELDS, FINDS	Higher	1 ft.
A7	HILTON INDUSTRIAL PA	FORBES AVE	NY Spills	Higher	1 ft.
B8		5 FORBES AVE	EDR Hist Auto	Lower	1 ft.
B9		4 FORBES AVE	EDR Hist Auto	Lower	1 ft.
B10		2 FORBES AVE	EDR Hist Auto	Lower	1 ft.
A11	AUSTIN GARAGE	0 WASHINGTON AVE	EDR Hist Auto	Higher	1 ft.
B12	JELLIFF FORBES RD (R	FORBES RD	NY Spills	Lower	1 ft.
B13	KET PRODUCTS FORBES	5 FORBES RD HUDSON R	NY Spills	Lower	1 ft.
B14	JELLIFF CORP.	5 FORBES RD	UST, AST, HIST AST	Lower	1 ft.
B15	JELLIFF CORP	5 FORBES RD	NY Spills, RCRA NonGen / NLR, FINDS, MANIFEST,...	Lower	1 ft.
A16	HILTON CENTER	20 FORBES AVE BLDG 1	RCRA-SQG, FINDS, ECHO	Higher	1 ft.
A17	HILTON INDUSTRIAL BU	10 FORBES AVE	ICIS, FINDS, ECHO	Lower	1 ft.
A18	ARTHUR HILTON PROPER	20 FORBES AVENUE	NY Spills	Higher	1 ft.
B19	HANNANS WASTE TRACY	6 TRACY ST	NY Spills	Higher	1 ft.
B20	CITY OF RENSSELAER	6 TRACY ST	FINDS, ECHO	Higher	1 ft.
B21	CITY OF RENSSELAER	6 TRACY ST	RCRA NonGen / NLR	Higher	1 ft.
B22	1523-1549 BROADWAY	1523-1549 BROADWAY	US BROWNFIELDS, FINDS	Higher	13, 0.002, SSW
C23	FORBES AVE PUMP STAT	FORBES AVE	UST	Lower	61, 0.012, NE
B24	HUDSON RIVER TRACY,	TRACY ST, CENTRAL AV	NY Spills	Lower	95, 0.018, SW
C25	BARNETT MILLS FORBES	FORBES AVE	NY Spills	Higher	140, 0.027, ENE
A26	STEPHAN RES BELLVIEW	50 BELLVIEW TERR	NY Spills	Higher	148, 0.028, SE
B27	JOHN JOSEPHS DRY CIN	1548 BROADWAY ST	EDR Hist Cleaner	Higher	154, 0.029, SSW
28	ALBANY DPW C&D LANDF	EAST OF CONNER BLVD	SWF/LF	Lower	211, 0.040, NNE
29	KET PRODUCTS FORBES	FORBES RD HUDSON RIV	NY Spills	Lower	267, 0.051, NE
B30	PATRIOTS LANDING	TRACY STREET	FINDS	Higher	311, 0.059, South
D31	38 WASHINGTON AVENUE	38 WASHINGTON AVENUE	US BROWNFIELDS	Higher	348, 0.066, SSE
D32	38 WASHINGTON AVENUE	38 WASHINGTON AVENUE	FINDS	Higher	348, 0.066, SSE
E33	1307, 1317, 1347 BRO	1347 BROADWAY	US BROWNFIELDS	Higher	391, 0.074, SSW
E34	1307, 1317, 1347 BRO	1347 BROADWAY	FINDS	Higher	391, 0.074, SSW
E35	BROADWAY ODORS THROU	1402 BROADWAY	NY Spills	Higher	391, 0.074, SSW
36	NYSDOT BIN 109283B	I-90 EB OVER LAND	RCRA NonGen / NLR, MANIFEST	Higher	416, 0.079, NE
F37	NAT GRID TRANSFORMER	1449 1ST ST	NY Spills	Higher	422, 0.080, SSW
G38	PATROON ISLAND BRIDG	UNDER PATROON ISLAND	NY Spills	Lower	429, 0.081, NNE

MAPPED SITES SUMMARY

Target Property Address:
1489 BROADWAY
RENSSELAER, NY 12144

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
E39	1307, 1317, 1347 BRO	1317 BROADWAY	FINDS	Higher	429, 0.081, SSW
E40	1307, 1317, 1347 BRO	1317 BROADWAY	US BROWNFIELDS	Higher	429, 0.081, SSW
E41	MALARK CAPITAL DEMO	1319 BROADWAY	NY Spills	Higher	440, 0.083, SSW
D42	TEDFORD 2ND ST	1640 2ND ST	NY Spills	Higher	461, 0.087, SE
E43	1307, 1317, 1347 BRO	1307 BROADWAY	US BROWNFIELDS	Higher	522, 0.099, SSW
E44	1307, 1317, 1347 BRO	1307 BROADWAY	FINDS	Higher	522, 0.099, SSW
F45	BOHLEY GARAGE	1417 1ST	NY Spills	Higher	536, 0.102, SSW
D46	CITGO 3RD ST @ WASHI	3RD ST @ WASHINGTON	NY Spills	Higher	560, 0.106, SE
D47	WICKS SERV STA	1647 3RD ST	EDR Hist Auto	Higher	566, 0.107, SE
D48	GRAYS RED CITIES SER	1649 3RD ST	EDR Hist Auto	Higher	582, 0.110, SE
G49	NYSDOT BIN109283A	I90 WB OVER LAND	FINDS, ECHO	Lower	636, 0.120, NNE
G50	NYSDOT BIN 109283B	I-90 EB OVER LAND	FINDS, ECHO	Lower	668, 0.127, NNE
H51	BILLS GARAGE	1 PATTEN AVE	EDR Hist Auto	Higher	690, 0.131, East
H52	BAGRII RES 4TH ST	1801 4TH ST	NY Spills	Higher	691, 0.131, ESE
H53	NIMO TRANSFORMER WAS	63 WASHINGTON AVE	NY Spills	Higher	717, 0.136, ESE
H54	LAUNDERAMA SELF SERV	63 WASHINGTON AVE	EDR Hist Cleaner	Higher	717, 0.136, ESE
F55	2ND @ CHURCH SEWER F	2ND ST @ CHURCH ST	NY Spills	Higher	726, 0.138, South
H56	13 PATTEN AVE -- GAR	13 PATTEN AVE	NY Spills	Higher	821, 0.155, East
I57	HUDSON RIVER SHEEN B	HUDSON RIVER @AMTRAK	NY Spills	Lower	833, 0.158, WSW
I58	MORANIA BARGE 210 HU	HUDSON RIVER @ RR BR	NY Spills	Lower	833, 0.158, WSW
J59	STEESE RES 3RD ST	1566 3RD ST	NY Spills	Higher	835, 0.158, SSE
K60	NAT GRID TRUCK 1ST S	1219 1ST ST	NY Spills	Higher	886, 0.168, SSW
61	OIL ON RD 3RD ST	1499 3RD ST	NY Spills	Higher	897, 0.170, South
62	LINDSAY MAJORIE RESI	1431 3RD ST	RCRA NonGen / NLR, FINDS, MANIFEST, ECHO	Higher	1018, 0.193, South
63	I-787 BEFORE I-90 RA	I-787 N BEFORE I-90	NY Spills	Lower	1073, 0.203, NNW
K64	JOES AUTO REPAIRS	1125 BROADWAY ST	EDR Hist Auto	Higher	1097, 0.208, SSW
J65	MILLER RES 4TH ST	1546 4TH ST	NY Spills	Higher	1138, 0.216, SSE
L66	VAN RENSSELAER ELEM	199 WASHINGTON AVE	FINDS	Higher	1190, 0.225, East
L67	VAN RENSSELAER SCHOO	199 WASHINGTON AVE (NY Spills	Higher	1190, 0.225, East
68	NYSDOT BIN 1092882	I-787 COLONIE ST NB	FINDS, ECHO	Lower	1210, 0.229, WSW
M69	NYSDOT BIN 1092881	787 BRG OVER COLONIE	RCRA NonGen / NLR, FINDS, MANIFEST, ECHO	Lower	1256, 0.238, WSW
M70	NYSDOT BIN 1092882	I-787 COLONIE ST NB	RCRA NonGen / NLR, MANIFEST	Lower	1278, 0.242, WSW

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was identified in the following records. For more information on this property see page 8 of the attached EDR Radius Map report:

<u>Site</u>	<u>Database(s)</u>	<u>EPA ID</u>
BOND RES BROADWAY AU 1489 BROADWAY RENSSELAER, NY	NY Spills Spill Number/Closed Date: 1602174 / 2016-06-02 spillno: 1602174 Site ID: 528569	N/A

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE..... Superfund Enterprise Management System Archive

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators

EXECUTIVE SUMMARY

RCRA-CESQG..... RCRA - Conditionally Exempt Small Quantity Generator

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System

Federal ERNS list

ERNS..... Emergency Response Notification System

State- and tribal - equivalent CERCLIS

SHWS..... Inactive Hazardous Waste Disposal Sites in New York State

VAPOR REOPENED..... Vapor Intrusion Legacy Site List

State and tribal leaking storage tank lists

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

LTANKS..... Spills Information Database

HIST LTANKS..... Listing of Leaking Storage Tanks

State and tribal registered storage tank lists

FEMA UST..... Underground Storage Tank Listing

CBS UST..... Chemical Bulk Storage Database

MOSF UST..... Major Oil Storage Facilities Database

CBS..... Chemical Bulk Storage Site Listing

CBS AST..... Chemical Bulk Storage Database

MOSF AST..... Major Oil Storage Facilities Database

INDIAN UST..... Underground Storage Tanks on Indian Land

TANKS..... Storage Tank Facility Listing

State and tribal institutional control / engineering control registries

RES DECL..... Restrictive Declarations Listing

ENG CONTROLS..... Registry of Engineering Controls

INST CONTROL..... Registry of Institutional Controls

State and tribal voluntary cleanup sites

VCP..... Voluntary Cleanup Agreements

INDIAN VCP..... Voluntary Cleanup Priority Listing

State and tribal Brownfields sites

BROWNFIELDS..... Brownfields Site List

ERP..... Environmental Restoration Program Listing

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY..... Registered Recycling Facility List

SWTIRE..... Registered Waste Tire Storage & Facility List

EXECUTIVE SUMMARY

INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
ODI..... Open Dump Inventory
IHS OPEN DUMPS..... Open Dumps on Indian Land

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL..... Delisted National Clandestine Laboratory Register
DEL SHWS..... Delisted Registry Sites
US CDL..... National Clandestine Laboratory Register

Local Lists of Registered Storage Tanks

HIST UST..... Historical Petroleum Bulk Storage Database

Local Land Records

LIENS..... Spill Liens Information
LIENS 2..... CERCLA Lien Information

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System
NY Hist Spills..... SPILLS Database
SPILLS 90..... SPILLS 90 data from FirstSearch
SPILLS 80..... SPILLS 80 data from FirstSearch

Other Ascertainable Records

FUDS..... Formerly Used Defense Sites
DOD..... Department of Defense Sites
SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing
US FIN ASSUR..... Financial Assurance Information
EPA WATCH LIST..... EPA WATCH LIST
2020 COR ACTION..... 2020 Corrective Action Program List
TSCA..... Toxic Substances Control Act
TRIS..... Toxic Chemical Release Inventory System
SSTS..... Section 7 Tracking Systems
RMP..... Risk Management Plans
RAATS..... RCRA Administrative Action Tracking System
PADS..... PCB Activity Database System
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS..... Material Licensing Tracking System
COAL ASH DOE..... Steam-Electric Plant Operation Data
COAL ASH EPA..... Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER..... PCB Transformer Registration Database
RADINFO..... Radiation Information Database
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing
DOT OPS..... Incident and Accident Data
INDIAN RESERV..... Indian Reservations
FUSRAP..... Formerly Utilized Sites Remedial Action Program
UMTRA..... Uranium Mill Tailings Sites
LEAD SMELTERS..... Lead Smelter Sites
US AIRS..... Aerometric Information Retrieval System Facility Subsystem

EXECUTIVE SUMMARY

US MINES.....	Mines Master Index File
UXO.....	Unexploded Ordnance Sites
DOCKET HWC.....	Hazardous Waste Compliance Docket Listing
AIRS.....	Air Emissions Data
COAL ASH.....	Coal Ash Disposal Site Listing
DRYCLEANERS.....	Registered Drycleaners
E DESIGNATION.....	E DESIGNATION SITE LISTING
Financial Assurance.....	Financial Assurance Information Listing
HSWDS.....	Hazardous Substance Waste Disposal Site Inventory
SPDES.....	State Pollutant Discharge Elimination System
UIC.....	Underground Injection Control Wells
ABANDONED MINES.....	Abandoned Mines
FUELS PROGRAM.....	EPA Fuels Program Registered Listing

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP..... EDR Proprietary Manufactured Gas Plants

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA HWS..... Recovered Government Archive State Hazardous Waste Facilities List
RGA LF..... Recovered Government Archive Solid Waste Facilities List

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property. Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: Also known as Superfund, the National Priority List database is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund program. The source of this database is the U.S. EPA.

A review of the NPL list, as provided by EDR, and dated 12/05/2016 has revealed that there is 1 NPL site within approximately 0.25 miles of the target property.

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	0 - 1/8 (0.000 mi.)	0	9

Federal CERCLIS list

SEMS: SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly know as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

A review of the SEMS list, as provided by EDR, and dated 10/10/2016 has revealed that there is 1 SEMS site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	0 - 1/8 (0.000 mi.)	0	9

Federal RCRA generators list

RCRA-SQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

A review of the RCRA-SQG list, as provided by EDR, and dated 12/12/2016 has revealed that there are 2 RCRA-SQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	0 - 1/8 (0.000 mi.)	0	9
HILTON CENTER	20 FORBES AVE BLDG 1	0 - 1/8 (0.000 mi.)	A16	60

Federal institutional controls / engineering controls registries

US ENG CONTROLS: A listing of sites with engineering controls in place.

A review of the US ENG CONTROLS list, as provided by EDR, and dated 11/15/2016 has revealed that there is 1 US ENG CONTROLS site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	0 - 1/8 (0.000 mi.)	0	9

EXECUTIVE SUMMARY

US INST CONTROL: A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

A review of the US INST CONTROL list, as provided by EDR, and dated 11/15/2016 has revealed that there is 1 US INST CONTROL site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	0 - 1/8 (0.000 mi.)	0	9

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: The Solid Waste Facilities/Landfill Sites records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. The data come from the list.

A review of the SWF/LF list, as provided by EDR, and dated 01/04/2017 has revealed that there is 1 SWF/LF site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ALBANY DPW C&D LANDF	EAST OF CONNER BLVD	NNE 0 - 1/8 (0.040 mi.)	28	77

State and tribal registered storage tank lists

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Environmental Conservation's Petroleum Bulk Storage (PBS) Database

A review of the UST list, as provided by EDR, has revealed that there are 2 UST sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF CORP. Database: UST, Date of Government Version: 12/28/2016	5 FORBES RD	0 - 1/8 (0.000 mi.)	B14	45
FORBES AVE PUMP STAT Database: UST, Date of Government Version: 12/28/2016	FORBES AVE	NE 0 - 1/8 (0.012 mi.)	C23	70

MOSF: These facilities may be onshore facilities or vessels, with petroleum storage capacities of 400,000 gallons or greater.

A review of the MOSF list, as provided by EDR, and dated 12/28/2016 has revealed that there is 1 MOSF site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
POLSINELLO TERMINAL Tank Status: Inactive Facility Id: 4-1620	FORBES & TRACY STREE	0 - 1/8 (0.000 mi.)	B5	38

EXECUTIVE SUMMARY

AST: The Aboveground Storage Tank database contains registered ASTs. The data come from the Department of Environmental Conservation's Petroleum Bulk Storage (PBS) Database.

A review of the AST list, as provided by EDR, has revealed that there is 1 AST site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF CORP. Database: AST, Date of Government Version: 12/28/2016 Facility Id: 4-443514	5 FORBES RD	0 - 1/8 (0.000 mi.)	B14	45

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: The EPA's listing of Brownfields properties from the Cleanups in My Community program, which provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

A review of the US BROWNFIELDS list, as provided by EDR, and dated 12/19/2016 has revealed that there are 6 US BROWNFIELDS sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
9 TRACY ST	9 TRACY ST	0 - 1/8 (0.000 mi.)	B6	38
1523-1549 BROADWAY	1523-1549 BROADWAY	SSW 0 - 1/8 (0.002 mi.)	B22	67
38 WASHINGTON AVENUE	38 WASHINGTON AVENUE	SSE 0 - 1/8 (0.066 mi.)	D31	79
1307, 1317, 1347 BRO	1347 BROADWAY	SSW 0 - 1/8 (0.074 mi.)	E33	81
1307, 1317, 1347 BRO	1317 BROADWAY	SSW 0 - 1/8 (0.081 mi.)	E40	92
1307, 1317, 1347 BRO	1307 BROADWAY	SSW 0 - 1/8 (0.099 mi.)	E43	97

Local Lists of Registered Storage Tanks

HIST AST: The Aboveground Storage Tank database contains registered ASTs. The data come from the Department of Environmental Conservation's Petroleum Bulk Storage (PBS) Database.

A review of the HIST AST list, as provided by EDR, and dated 01/01/2002 has revealed that there is 1 HIST AST site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF CORP. Tank Status: 4 PBS Number: 4-443514	5 FORBES RD	0 - 1/8 (0.000 mi.)	B14	45

EXECUTIVE SUMMARY

Records of Emergency Release Reports

NY Spills: Data collected on spills reported to NYSDEC. is required by one or more of the following: Article 12 of the Navigation Law, 6 NYCRR Section 613.8 (from PBS regs), or 6 NYCRR Section 595.2 (from CBS regs). It includes spills active as of April 1, 1986, as well as spills occurring since this date.

A review of the NY Spills list, as provided by EDR, and dated 02/06/2017 has revealed that there are 32 NY Spills sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS Spill Number/Closed Date: 0308107 / 2003-10-31 spillno: 0308107 Site ID: 237813	NO STREET APPLICABLE	0 - 1/8 (0.000 mi.)	0	9
DPW TRUCK @ ROBERTS Spill Number/Closed Date: 0709694 / 2007-12-10 spillno: 0709694 Site ID: 390810	8 TRACY ST	0 - 1/8 (0.000 mi.)	B4	37
HILTON INDUSTRIAL PA Spill Number/Closed Date: 0804418 / 2008-07-18 spillno: 0804418 Site ID: 401326	FORBES AVE	0 - 1/8 (0.000 mi.)	A7	41
ARTHUR HILTON PROPER Spill Number/Closed Date: 1300591 / 2016-06-14 spillno: 1300591 Site ID: 480924	20 FORBES AVENUE	0 - 1/8 (0.000 mi.)	A18	63
HANNANS WASTE TRACY Spill Number/Closed Date: 0600978 / 2006-10-13 spillno: 0600978 Site ID: 363103	6 TRACY ST	0 - 1/8 (0.000 mi.)	B19	64
BARNETT MILLS FORBES Spill Number/Closed Date: 9901711 / 1999-05-14 spillno: 9901711 Site ID: 154106	FORBES AVE	ENE 0 - 1/8 (0.027 mi.)	C25	74
STEPHAN RES BELLVIEW Spill Number/Closed Date: 0604935 / 2006-08-02 spillno: 0604935 Site ID: 368021	50 BELLVIEW TERR	SE 0 - 1/8 (0.028 mi.)	A26	75
BROADWAY ODORS THROU Spill Number/Closed Date: 1603814 / 2016-07-22 spillno: 1603814 Site ID: 530296	1402 BROADWAY	SSW 0 - 1/8 (0.074 mi.)	E35	84
NAT GRID TRANSFORMER Spill Number/Closed Date: 1012953 / 2011-05-11 spillno: 1012953 Site ID: 447254	1449 1ST ST	SSW 0 - 1/8 (0.080 mi.)	F37	90
MALARK CAPITAL DEMO Spill Number/Closed Date: 9315438 / 1994-05-05 spillno: 9315438 Site ID: 69364	1319 BROADWAY	SSW 0 - 1/8 (0.083 mi.)	E41	95
TEDFORD 2ND ST	1640 2ND ST	SE 0 - 1/8 (0.087 mi.)	D42	96

EXECUTIVE SUMMARY

Spill Number/Closed Date: 9303575 / 1998-02-02				
spillno: 9303575				
Site ID: 69446				
BOHLEY GARAGE	1417 1ST	SSW 0 - 1/8 (0.102 mi.)	F45	100
Spill Number/Closed Date: 0703476 / 2007-10-03				
spillno: 0703476				
Site ID: 383408				
CITGO 3RD ST @ WASHI	3RD ST @ WASHINGTON	SE 0 - 1/8 (0.106 mi.)	D46	101
Spill Number/Closed Date: 9406821 / 1994-09-15				
spillno: 9406821				
Site ID: 121052				
BAGRII RES 4TH ST	1801 4TH ST	ESE 1/8 - 1/4 (0.131 mi.)	H52	104
Spill Number/Closed Date: 0206733 / 2002-10-02				
spillno: 0206733				
Site ID: 70028				
NIMO TRANSFORMER WAS	63 WASHINGTON AVE	ESE 1/8 - 1/4 (0.136 mi.)	H53	105
Spill Number/Closed Date: 0303461 / 2003-11-13				
spillno: 0303461				
Site ID: 177309				
2ND @ CHURCH SEWER F	2ND ST @ CHURCH ST	S 1/8 - 1/4 (0.138 mi.)	F55	107
Spill Number/Closed Date: 9303544 / 1993-06-18				
spillno: 9303544				
Site ID: 246240				
13 PATTEN AVE -- GAR	13 PATTEN AVE	E 1/8 - 1/4 (0.155 mi.)	H56	108
Spill Number/Closed Date: 0002443 / 2004-11-02				
spillno: 0002443				
Site ID: 152656				
STEESE RES 3RD ST	1566 3RD ST	SSE 1/8 - 1/4 (0.158 mi.)	J59	112
Spill Number/Closed Date: 0811526 / 2009-01-27				
spillno: 0811526				
Site ID: 409103				
NAT GRID TRUCK 1ST S	1219 1ST ST	SSW 1/8 - 1/4 (0.168 mi.)	K60	113
Spill Number/Closed Date: 1301551 / 2013-07-16				
spillno: 1301551				
Site ID: 481942				
OIL ON RD 3RD ST	1499 3RD ST	S 1/8 - 1/4 (0.170 mi.)	61	114
Spill Number/Closed Date: 8801538 / 1988-06-15				
spillno: 8801538				
Site ID: 201722				
MILLER RES 4TH ST	1546 4TH ST	SSE 1/8 - 1/4 (0.216 mi.)	J65	120
Spill Number/Closed Date: 1108333 / 2012-04-04				
spillno: 1108333				
Site ID: 456059				
VAN RENSSELAER SCHOO	199 WASHINGTON AVE (E 1/8 - 1/4 (0.225 mi.)	L67	122
Spill Number/Closed Date: 0803334 / 2009-01-12				
spillno: 0803334				
Site ID: 400055				
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF VANDALIZED D	FORBES RD	0 - 1/8 (0.000 mi.)	B3	35

EXECUTIVE SUMMARY

Spill Number/Closed Date: 8701013 / 1987-05-06				
spillno: 8701013				
Site ID: 213129				
JELLIFF FORBES RD (R	FORBES RD	0 - 1/8 (0.000 mi.)	B12	43
Spill Number/Closed Date: 9516418 / 1996-03-21				
spillno: 9516418				
Site ID: 213130				
KET PRODUCTS FORBES	5 FORBES RD HUDSON R	0 - 1/8 (0.000 mi.)	B13	44
Spill Number/Closed Date: 8602120 / 1986-07-30				
spillno: 8602120				
Site ID: 229826				
JELLIFF CORP	5 FORBES RD	0 - 1/8 (0.000 mi.)	B15	51
Spill Number/Closed Date: 8806485 / 1995-10-20				
spillno: 8806485				
Site ID: 228893				
HUDSON RIVER TRACY,	TRACY ST, CENTRAL AV	SW 0 - 1/8 (0.018 mi.)	B24	73
Spill Number/Closed Date: 9201540 / 1992-05-12				
spillno: 9201540				
Site ID: 83907				
KET PRODUCTS FORBES	FORBES RD HUDSON RIV	NE 0 - 1/8 (0.051 mi.)	29	77
Spill Number/Closed Date: 8202013 / 1995-04-03				
spillno: 8202013				
Site ID: 203025				
PATROON ISLAND BRIDG	UNDER PATROON ISLAND	NNE 0 - 1/8 (0.081 mi.)	G38	91
Spill Number/Closed Date: 8602111 / 1986-06-27				
spillno: 8602111				
Site ID: 328200				
HUDSON RIVER SHEEN B	HUDSON RIVER @AMTRAK	WSW 1/8 - 1/4 (0.158 mi.)	I57	110
Spill Number/Closed Date: 8803943 / 1988-08-30				
spillno: 8803943				
Site ID: 287056				
MORANIA BARGE 210 HU	HUDSON RIVER @ RR BR	WSW 1/8 - 1/4 (0.158 mi.)	I58	111
Spill Number/Closed Date: 9403076 / 1994-06-21				
spillno: 9403076				
Site ID: 89062				
I-787 BEFORE I-90 RA	I-787 N BEFORE I-90	NNW 1/8 - 1/4 (0.203 mi.)	63	119
Spill Number/Closed Date: 0515036 / 2006-04-03				
spillno: 0515036				
Site ID: 361902				

Other Ascertainable Records

RCRA NonGen / NLR: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 12/12/2016 has revealed that

EXECUTIVE SUMMARY

there are 6 RCRA NonGen / NLR sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CITY OF RENNELAER	6 TRACY ST	0 - 1/8 (0.000 mi.)	B21	66
<i>NYSDOT BIN 109283B</i>	<i>I-90 EB OVER LAND</i>	<i>NE 0 - 1/8 (0.079 mi.)</i>	<i>36</i>	<i>85</i>
<i>LINDSAY MAJORIE RESI</i>	<i>1431 3RD ST</i>	<i>S 1/8 - 1/4 (0.193 mi.)</i>	<i>62</i>	<i>115</i>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF CORP	5 FORBES RD	0 - 1/8 (0.000 mi.)	B15	51
<i>NYSDOT BIN 1092881</i>	<i>787 BRG OVER COLONIE</i>	<i>WSW 1/8 - 1/4 (0.238 mi.)</i>	<i>M69</i>	<i>124</i>
<i>NYSDOT BIN 1092882</i>	<i>I-787 COLONIE ST NB</i>	<i>WSW 1/8 - 1/4 (0.242 mi.)</i>	<i>M70</i>	<i>129</i>

ROD: Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid the cleanup.

A review of the ROD list, as provided by EDR, and dated 11/25/2013 has revealed that there is 1 ROD site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>HUDSON RIVER PCBS</i>	<i>NO STREET APPLICABLE</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>0</i>	<i>9</i>

PRP: A listing of verified Potentially Responsible Parties

A review of the PRP list, as provided by EDR, and dated 10/25/2013 has revealed that there is 1 PRP site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>HUDSON RIVER PCBS</i>	<i>NO STREET APPLICABLE</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>0</i>	<i>9</i>

ICIS: The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

A review of the ICIS list, as provided by EDR, and dated 11/18/2016 has revealed that there is 1 ICIS site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>HILTON INDUSTRIAL BU</i>	<i>10 FORBES AVE</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>A17</i>	<i>62</i>

CONSENT: Major Legal settlements that establish responsibility and standards for cleanup at NPL (superfund) sites. Released periodically by U.S. District Courts after settlement by parties to litigation matters.

A review of the CONSENT list, as provided by EDR, and dated 09/30/2016 has revealed that there is 1 CONSENT site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>HUDSON RIVER PCBS</i>	<i>NO STREET APPLICABLE</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>0</i>	<i>9</i>

EXECUTIVE SUMMARY

FINDS: The Facility Index System contains both facility information and "pointers" to other sources of information that contain more detail. These include: RCRIS; Permit Compliance System (PCS); Aerometric Information Retrieval System (AIRS); FATES (FIFRA [Federal Insecticide Fungicide Rodenticide Act] and TSCA Enforcement System, FTTS [FIFRA/TSCA Tracking System]; CERCLIS; DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes); Federal Underground Injection Control (FURS); Federal Reporting Data System (FRDS); Surface Impoundments (SIA); TSCA Chemicals in Commerce Information System (CICS); PADS; RCRA-J (medical waste transporters/disposers); TRIS; and TSCA. The source of this database is the U.S. EPA/NTIS.

A review of the FINDS list, as provided by EDR, and dated 07/15/2016 has revealed that there are 17 FINDS sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
9 TRACY ST	9 TRACY ST	0 - 1/8 (0.000 mi.)	B6	38
HILTON CENTER	20 FORBES AVE BLDG 1	0 - 1/8 (0.000 mi.)	A16	60
CITY OF RENSSELAER	6 TRACY ST	0 - 1/8 (0.000 mi.)	B20	65
1523-1549 BROADWAY	1523-1549 BROADWAY	SSW 0 - 1/8 (0.002 mi.)	B22	67
PATRIOTS LANDING	TRACY STREET	S 0 - 1/8 (0.059 mi.)	B30	78
38 WASHINGTON AVENUE	38 WASHINGTON AVENUE	SSE 0 - 1/8 (0.066 mi.)	D32	81
1307, 1317, 1347 BRO	1347 BROADWAY	SSW 0 - 1/8 (0.074 mi.)	E34	84
1307, 1317, 1347 BRO	1317 BROADWAY	SSW 0 - 1/8 (0.081 mi.)	E39	92
1307, 1317, 1347 BRO	1307 BROADWAY	SSW 0 - 1/8 (0.099 mi.)	E44	99
LINDSAY MAJORIE RESI	1431 3RD ST	S 1/8 - 1/4 (0.193 mi.)	62	115
VAN RENSSELAER ELEM	199 WASHINGTON AVE	E 1/8 - 1/4 (0.225 mi.)	L66	122
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF CORP	5 FORBES RD	0 - 1/8 (0.000 mi.)	B15	51
HILTON INDUSTRIAL BU	10 FORBES AVE	0 - 1/8 (0.000 mi.)	A17	62
NYSDOT BIN109283A	190 WB OVER LAND	NNE 0 - 1/8 (0.120 mi.)	G49	103
NYSDOT BIN 109283B	I-90 EB OVER LAND	NNE 1/8 - 1/4 (0.127 mi.)	G50	103
NYSDOT BIN 1092882	I-787 COLONIE ST NB	WSW 1/8 - 1/4 (0.229 mi.)	68	123
NYSDOT BIN 1092881	787 BRG OVER COLONIE	WSW 1/8 - 1/4 (0.238 mi.)	M69	124

MANIFEST: Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

A review of the MANIFEST list, as provided by EDR, and dated 01/30/2017 has revealed that there are 5 MANIFEST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
NYSDOT BIN 109283B EPA ID: NYD986964500	I-90 EB OVER LAND	NE 0 - 1/8 (0.079 mi.)	36	85
LINDSAY MAJORIE RESI EPA ID: NYR000034520	1431 3RD ST	S 1/8 - 1/4 (0.193 mi.)	62	115
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF CORP EPA ID: NYD096932108	5 FORBES RD	0 - 1/8 (0.000 mi.)	B15	51
NYSDOT BIN 1092881 EPA ID: NYD986913184	787 BRG OVER COLONIE	WSW 1/8 - 1/4 (0.238 mi.)	M69	124
NYSDOT BIN 1092882	I-787 COLONIE ST NB	WSW 1/8 - 1/4 (0.242 mi.)	M70	129

EXECUTIVE SUMMARY

EPA ID: NYD986974483

ECHO: ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

A review of the ECHO list, as provided by EDR, and dated 12/11/2016 has revealed that there are 9 ECHO sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>HILTON CENTER</i>	<i>20 FORBES AVE BLDG 1</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>A16</i>	<i>60</i>
<i>CITY OF RENSSELAER</i>	<i>6 TRACY ST</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>B20</i>	<i>65</i>
<i>LINDSAY MAJORIE RESI</i>	<i>1431 3RD ST</i>	<i>S 1/8 - 1/4 (0.193 mi.)</i>	<i>62</i>	<i>115</i>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>JELLIFF CORP</i>	<i>5 FORBES RD</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>B15</i>	<i>51</i>
<i>HILTON INDUSTRIAL BU</i>	<i>10 FORBES AVE</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>A17</i>	<i>62</i>
<i>NYSDOT BIN109283A</i>	<i>190 WB OVER LAND</i>	<i>NNE 0 - 1/8 (0.120 mi.)</i>	<i>G49</i>	<i>103</i>
<i>NYSDOT BIN 109283B</i>	<i>I-90 EB OVER LAND</i>	<i>NNE 1/8 - 1/4 (0.127 mi.)</i>	<i>G50</i>	<i>103</i>
<i>NYSDOT BIN 1092882</i>	<i>I-787 COLONIE ST NB</i>	<i>WSW 1/8 - 1/4 (0.229 mi.)</i>	<i>68</i>	<i>123</i>
<i>NYSDOT BIN 1092881</i>	<i>787 BRG OVER COLONIE</i>	<i>WSW 1/8 - 1/4 (0.238 mi.)</i>	<i>M69</i>	<i>124</i>

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR Hist Auto: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Auto list, as provided by EDR, has revealed that there are 9 EDR Hist Auto sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
AUSTIN GARAGE Database: EDR Hist Auto, Date of Government Version: 02/20/2007	0 WASHINGTON AVE	0 - 1/8 (0.000 mi.)	A11	43
WICKS SERV STA Database: EDR Hist Auto, Date of Government Version: 02/20/2007	1647 3RD ST	SE 0 - 1/8 (0.107 mi.)	D47	102
GRAYS RED CITIES SER Database: EDR Hist Auto, Date of Government Version: 02/20/2007	1649 3RD ST	SE 0 - 1/8 (0.110 mi.)	D48	103
BILLS GARAGE Database: EDR Hist Auto, Date of Government Version: 02/20/2007	1 PATTEN AVE	E 1/8 - 1/4 (0.131 mi.)	H51	104
JOES AUTO REPAIRS Database: EDR Hist Auto, Date of Government Version: 02/20/2007	1125 BROADWAY ST	SSW 1/8 - 1/4 (0.208 mi.)	K64	120

EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported	1 FORBES AVE	0 - 1/8 (0.000 mi.)	B2	35
Not reported	5 FORBES AVE	0 - 1/8 (0.000 mi.)	B8	42
Not reported	4 FORBES AVE	0 - 1/8 (0.000 mi.)	B9	42
Not reported	2 FORBES AVE	0 - 1/8 (0.000 mi.)	B10	42

EDR Hist Cleaner: EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Cleaner list, as provided by EDR, has revealed that there are 2 EDR Hist Cleaner sites within approximately 0.25 miles of the target property.

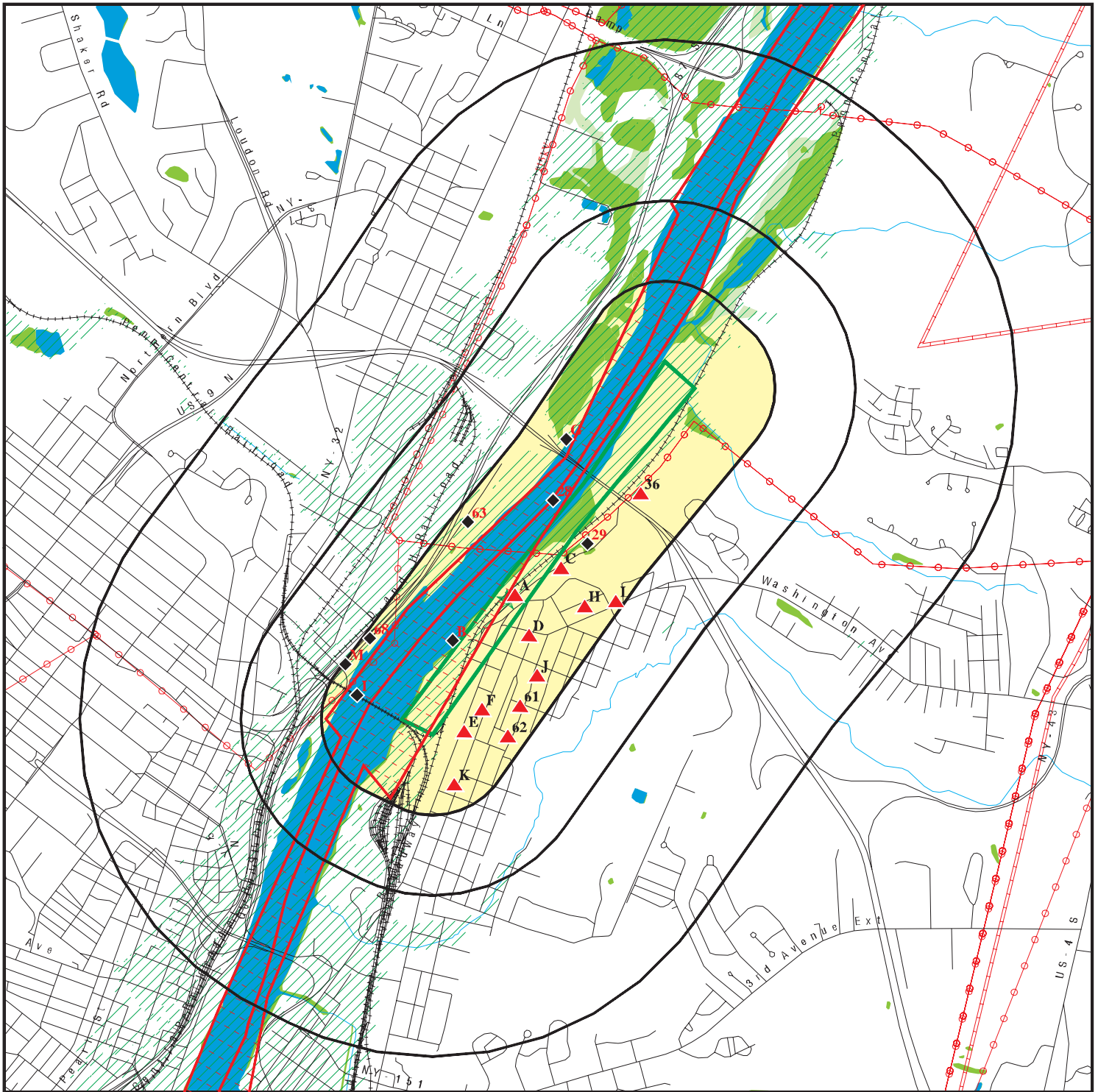
<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JOHN JOSEPHS DRY CIN Database: EDR Hist Cleaner, Date of Government Version: 02/20/2007	1548 BROADWAY ST	SSW 0 - 1/8 (0.029 mi.)	B27	76
LAUNDERAMA SELF SERV Database: EDR Hist Cleaner, Date of Government Version: 02/20/2007	63 WASHINGTON AVE	ESE 1/8 - 1/4 (0.136 mi.)	H54	107

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 5 records.

<u>Site Name</u>	<u>Database(s)</u>
CHEVRON FORMER ASPHALT FACILITY	SHWS
NM - AREA 4 WATER ST. - TROY MGP	SHWS
NM - TROY WATER ST. MGP	SHWS
DE LAETS LANDING	FINDS
NM - RENSSELAER MGP	VCP

OVERVIEW MAP - 4880007.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

County Boundary

Power transmission lines

Pipelines

100-year flood zone

500-year flood zone

National Wetland Inventory

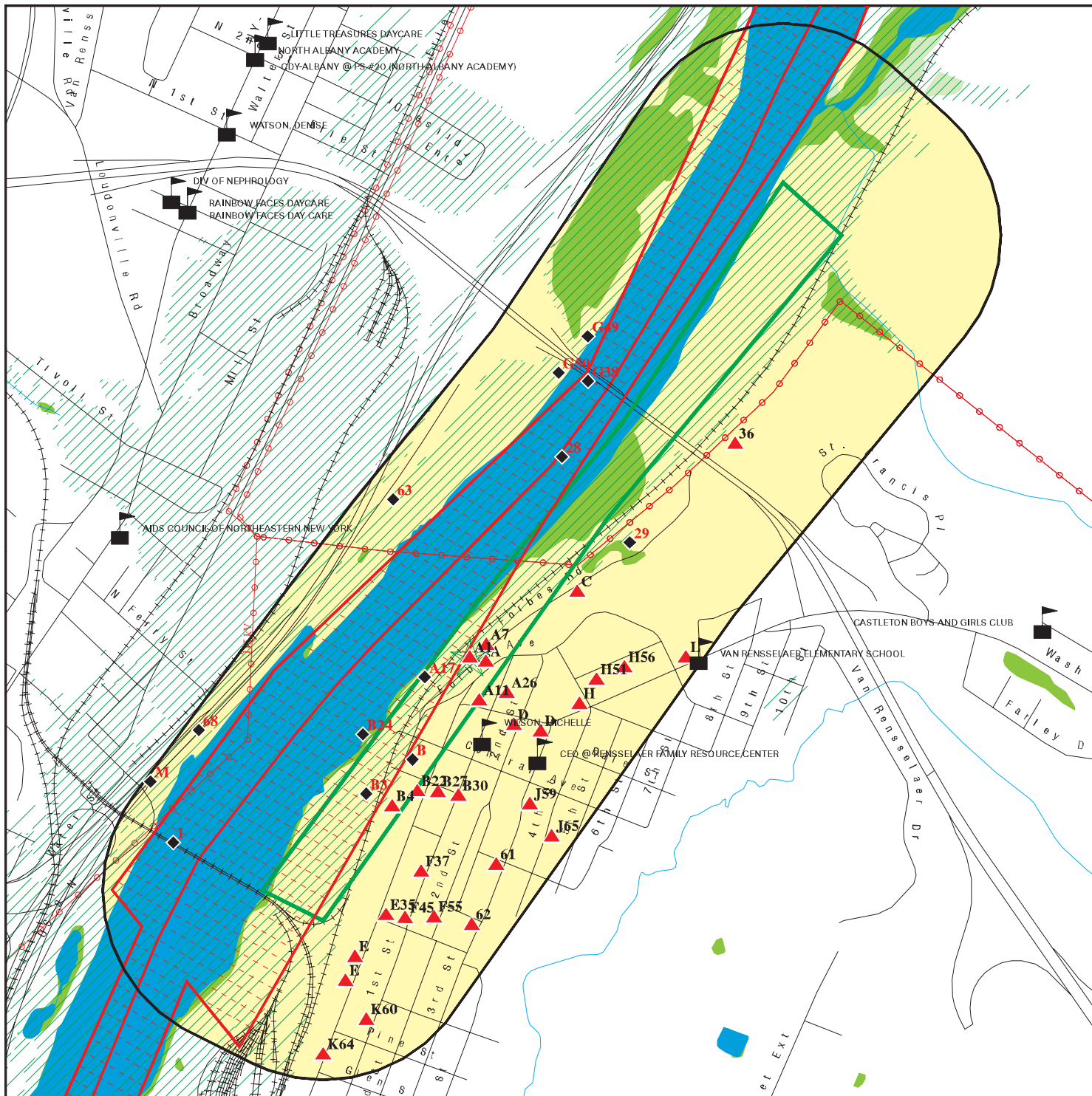
State Wetlands















This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Kiliaens Landing
 ADDRESS: 1489 Broadway
 Rensselaer NY 12144
 LAT/LONG: 42.658915 / 73.733398

CLIENT: Clough, Harbour & Associates
 CONTACT: Scott Rosecrans
 INQUIRY #: 4880007.2s
 DATE: March 15, 2017 1:37 pm

DETAIL MAP - 4880007.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites
-  Indian Reservations BIA
-  County Boundary
-  Power transmission lines
-  100-year flood zone
-  500-year flood zone
-  National Wetland Inventory
-  State Wetlands



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Kiliaens Landing
 ADDRESS: 1489 Broadway
 Rensselaer NY 12144
 LAT/LONG: 42.658915 / 73.733398

CLIENT: Clough, Harbour & Associates
 CONTACT: Scott Rosecrans
 INQUIRY #: 4880007.2s
 DATE: March 15, 2017 1:41 pm

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	0.250		1	0	NR	NR	NR	1
Proposed NPL	0.250		0	0	NR	NR	NR	0
NPL LIENS	0.250		0	0	NR	NR	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	0.250		0	0	NR	NR	NR	0
<i>Federal CERCLIS list</i>								
FEDERAL FACILITY	0.250		0	0	NR	NR	NR	0
SEMS	0.250		1	0	NR	NR	NR	1
<i>Federal CERCLIS NFRAP site list</i>								
SEMS-ARCHIVE	0.250		0	0	NR	NR	NR	0
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	0.250		0	0	NR	NR	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.250		0	0	NR	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		2	0	NR	NR	NR	2
RCRA-CESQG	0.250		0	0	NR	NR	NR	0
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.250		0	0	NR	NR	NR	0
US ENG CONTROLS	0.250		1	0	NR	NR	NR	1
US INST CONTROL	0.250		1	0	NR	NR	NR	1
<i>Federal ERNS list</i>								
ERNS	0.250		0	0	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	0.250		0	0	NR	NR	NR	0
VAPOR REOPENED	0.250		0	0	NR	NR	NR	0
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/LF	0.250		1	0	NR	NR	NR	1
<i>State and tribal leaking storage tank lists</i>								
INDIAN LUST	0.250		0	0	NR	NR	NR	0
LTANKS	0.250		0	0	NR	NR	NR	0
HIST LTANKS	0.250		0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<i>State and tribal registered storage tank lists</i>								
FEMA UST	0.250		0	0	NR	NR	NR	0
UST	0.250		2	0	NR	NR	NR	2
CBS UST	0.250		0	0	NR	NR	NR	0
MOSF UST	0.250		0	0	NR	NR	NR	0
MOSF	0.250		1	0	NR	NR	NR	1
CBS	0.250		0	0	NR	NR	NR	0
AST	0.250		1	0	NR	NR	NR	1
CBS AST	0.250		0	0	NR	NR	NR	0
MOSF AST	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
TANKS	0.250		0	0	NR	NR	NR	0
<i>State and tribal institutional control / engineering control registries</i>								
RES DECL	0.250		0	0	NR	NR	NR	0
ENG CONTROLS	0.250		0	0	NR	NR	NR	0
INST CONTROL	0.250		0	0	NR	NR	NR	0
<i>State and tribal voluntary cleanup sites</i>								
VCP	0.250		0	0	NR	NR	NR	0
INDIAN VCP	0.250		0	0	NR	NR	NR	0
<i>State and tribal Brownfields sites</i>								
BROWNFIELDS	0.250		0	0	NR	NR	NR	0
ERP	0.250		0	0	NR	NR	NR	0
<u>ADDITIONAL ENVIRONMENTAL RECORDS</u>								
<i>Local Brownfield lists</i>								
US BROWNFIELDS	0.250		6	0	NR	NR	NR	6
<i>Local Lists of Landfill / Solid Waste Disposal Sites</i>								
SWRCY	0.250		0	0	NR	NR	NR	0
SWTIRE	0.250		0	0	NR	NR	NR	0
INDIAN ODI	0.250		0	0	NR	NR	NR	0
DEBRIS REGION 9	0.250		0	0	NR	NR	NR	0
ODI	0.250		0	0	NR	NR	NR	0
IHS OPEN DUMPS	0.250		0	0	NR	NR	NR	0
<i>Local Lists of Hazardous waste / Contaminated Sites</i>								
US HIST CDL	0.250		0	0	NR	NR	NR	0
DEL SHWS	0.250		0	0	NR	NR	NR	0
US CDL	0.250		0	0	NR	NR	NR	0
<i>Local Lists of Registered Storage Tanks</i>								
HIST UST	0.250		0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
HIST AST	0.250		1	0	NR	NR	NR	1
Local Land Records								
LIENS	0.250		0	0	NR	NR	NR	0
LIENS 2	0.250		0	0	NR	NR	NR	0
Records of Emergency Release Reports								
HMIRS	0.250		0	0	NR	NR	NR	0
NY Spills	0.250	1	20	12	NR	NR	NR	33
NY Hist Spills	0.250		0	0	NR	NR	NR	0
SPILLS 90	0.250		0	0	NR	NR	NR	0
SPILLS 80	0.250		0	0	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		3	3	NR	NR	NR	6
FUDS	0.250		0	0	NR	NR	NR	0
DOD	0.250		0	0	NR	NR	NR	0
SCRD DRYCLEANERS	0.250		0	0	NR	NR	NR	0
US FIN ASSUR	0.250		0	0	NR	NR	NR	0
EPA WATCH LIST	0.250		0	0	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	0.250		0	0	NR	NR	NR	0
TRIS	0.250		0	0	NR	NR	NR	0
SSTS	0.250		0	0	NR	NR	NR	0
ROD	0.250		1	0	NR	NR	NR	1
RMP	0.250		0	0	NR	NR	NR	0
RAATS	0.250		0	0	NR	NR	NR	0
PRP	0.250		1	0	NR	NR	NR	1
PADS	0.250		0	0	NR	NR	NR	0
ICIS	0.250		1	0	NR	NR	NR	1
FTTS	0.250		0	0	NR	NR	NR	0
MLTS	0.250		0	0	NR	NR	NR	0
COAL ASH DOE	0.250		0	0	NR	NR	NR	0
COAL ASH EPA	0.250		0	0	NR	NR	NR	0
PCB TRANSFORMER	0.250		0	0	NR	NR	NR	0
RADINFO	0.250		0	0	NR	NR	NR	0
HIST FTTS	0.250		0	0	NR	NR	NR	0
DOT OPS	0.250		0	0	NR	NR	NR	0
CONSENT	0.250		1	0	NR	NR	NR	1
INDIAN RESERV	0.250		0	0	NR	NR	NR	0
FUSRAP	0.250		0	0	NR	NR	NR	0
UMTRA	0.250		0	0	NR	NR	NR	0
LEAD SMELTERS	0.250		0	0	NR	NR	NR	0
US AIRS	0.250		0	0	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
FINDS	0.250		12	5	NR	NR	NR	17
UXO	0.250		0	0	NR	NR	NR	0
DOCKET HWC	0.250		0	0	NR	NR	NR	0
AIRS	0.250		0	0	NR	NR	NR	0
COAL ASH	0.250		0	0	NR	NR	NR	0
DRYCLEANERS	0.250		0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
E DESIGNATION	0.250		0	0	NR	NR	NR	0
Financial Assurance	0.250		0	0	NR	NR	NR	0
HSWDS	0.250		0	0	NR	NR	NR	0
MANIFEST	0.250		2	3	NR	NR	NR	5
SPDES	0.250		0	0	NR	NR	NR	0
UIC	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
ECHO	0.250		5	4	NR	NR	NR	9
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
<u>EDR HIGH RISK HISTORICAL RECORDS</u>								
<i>EDR Exclusive Records</i>								
EDR MGP	0.250		0	0	NR	NR	NR	0
EDR Hist Auto	0.250		7	2	NR	NR	NR	9
EDR Hist Cleaner	0.250		1	1	NR	NR	NR	2
<u>EDR RECOVERED GOVERNMENT ARCHIVES</u>								
<i>Exclusive Recovered Govt. Archives</i>								
RGA HWS	0.250		0	0	NR	NR	NR	0
RGA LF	0.250		0	0	NR	NR	NR	0
- Totals --		1	72	30	0	0	0	103

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

A1 **BOND RES BROADWAY AUTO FLUIDS**
Target **1489 BROADWAY**
Property **RENSSELAER, NY**

NY Spills **S118705199**
 N/A

Site 1 of 7 in cluster A

Actual:
28 ft.

SPILLS:

Facility ID: 1602174
Facility Type: ER
DER Facility ID: 482724
Site ID: 528569
DEC Region: 4
Spill Date: 2016-06-02
Spill Number/Closed Date: 1602174 / 2016-06-02
Spill Cause: Deliberate
Spill Class: Possible release with minimal potential for fire or hazard or Known release with no damage. No DEC Response. No corrective action required.

SWIS: 4214
Investigator: JDUTBERG
Referred To: Not reported
Reported to Dept: 2016-06-02
CID: Not reported
Water Affected: Not reported
Spill Source: Private Dwelling
Spill Notifier: Citizen
Cleanup Ceased: Not reported
Cleanup Meets Std: False
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 2016-06-02
Spill Record Last Update: 2016-06-03
Spiller Name: NOAH BOND
Spiller Company: NOAH BOND
Spiller Address: Not reported
Spiller City,St,Zip: NY
Spiller Company: 999
Contact Name: MIKE MACEY
Contact Phone: (518) 788-1737
DEC Memo: "JDU on site. No answer from caller, left message and no callback all day. Small stains on roadway where a parked vehicle may have leaked a while ago. No stains on driveway or soil. No odors. Spill closed. JDU"
Not reported

Remarks: "Caller states that Noah is deliberately changing and dumping oil on his driveway and soil."

Material:

Site ID: 528569
Operable Unit ID: 1277421
Operable Unit: 01
Material ID: 2282255
Material Code: 0015
Material Name: motor oil
Case No.: Not reported
Material FA: Petroleum
Quantity: 5.00
Units: Gallons
Recovered: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BOND RES BROADWAY AUTO FLUIDS (Continued)

S118705199

Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

**NPL
Region**

**< 1/8
1 ft.**

**HUDSON RIVER PCBs
NO STREET APPLICABLE
HUDSON RIVER, NY 12801**

**NPL 1000384273
SEMS NYD980763841
RCRA-SQG
US ENG CONTROLS
US INST CONTROL
NY Spills
ROD
PRP
CONSENT**

NPL:

EPA ID: NYD980763841
Cerclis ID: 202229
EPA Region: 2
Federal: N
Final Date: 1984-09-20 00:00:00
Site Score: 54.659999999999997
Latitude: 43.110199999999999
Longitude: -73.576499999999996

Category Details:

NPL Status: Currently on the Final NPL
Category Description: Depth To Aquifer-<= 10 Feet
Category Value: 0

NPL Status: Currently on the Final NPL
Category Description: Distance To Nearest Population-> 0 And <= 1/4 Mile
Category Value: 10

Site Details:

Site Name: HUDSON RIVER PCBs
Site Status: Final
Site Zip: 12801
Site City: HUDSON RIVER
Site State: NY
Federal Site: No
Site County: WASHINGTON
EPA Region: 02
Date Proposed: 09/08/83
Date Deleted: Not reported
Date Finalized: 09/21/84

Substance Details:

NPL Status: Currently on the Final NPL
Substance ID: Not reported
Substance: Not reported
CAS #: Not reported
Pathway: Not reported
Scoring: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

NPL Status: Currently on the Final NPL
Substance ID: A046
Substance: POLYCHLORINATED BIPHENYLS
CAS #: 1336-36-3
Pathway: AIR PATHWAY
Scoring: 4

NPL Status: Currently on the Final NPL
Substance ID: A046
Substance: POLYCHLORINATED BIPHENYLS
CAS #: 1336-36-3
Pathway: SURFACE WATER PATHWAY
Scoring: 4

Summary Details:

Conditions at listing September 1983): The Hudson River PCBs Site is a 40-mile stretch of the Hudson River between Mechanicville and Fort Edward, New York. General Electric Co. discharged an estimated 1.1 million pounds of PCBs into this stretch of river. The State has identified 40 hot spots, defined as sediments contaminated with greater than 50 parts per million (ppm) of PCBs. Also included in the site are five remnant areas, which are river sediments exposed when the level of the river was lowered due to removal of the Fort Edward Dam. The State has taken initial measures to stabilize the remnant areas from erosion. In September 1980, Congress passed an amendment to the Clean Water Act (CWA) that included the Hudson River PCB Reclamation Demonstration Project. Under this legislation, the EPA Administrator could authorize a 75 percent grant, not to exceed 20 million. EPA issued a final Environmental Impact Statement in October 1982 evaluating various dredging alternatives for a demonstration project. EPA has prepared a feasibility study to evaluate alternative remedial actions under CERCLA. The Administrator has determined that CERCLA funds may be used for remedial action at the remnant areas and for evaluating the effectiveness of the water supply system at Waterford, New York. Status June 1984): EPA has completed a draft feasibility study identifying alternatives for remedial action. A search for parties potentially responsible for wastes associated with the site has been completed, and EPA has sent letters to two potentially responsible parties notifying them of possible legal action under CERCLA.

Site Status Details:

NPL Status: Final
Proposed Date: 09/08/1983
Final Date: 09/21/1984
Deleted Date: Not reported

Narratives Details:

NPL Name: HUDSON RIVER PCBS
City: HUDSON RIVER
State: NY

SEMS:

Site ID: 202229
EPA ID: NYD980763841
Federal Facility: N
NPL: Currently on the Final NPL
Non NPL Status: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

Following information was gathered from the prior CERCLIS update completed in 10/2013:

Site ID: 0202229
EPA ID: NYD980763841
Facility County: WASHINGTON
Short Name: HUDSON RIVER PCBS
Congressional District: 21
IFMS ID: 0284
SMSA Number: 2975
USGC Hydro Unit: 02020003
Federal Facility: Not a Federal Facility
DMNSN Number: 0.00000
Site Orphan Flag: N
RCRA ID: Not reported
USGS Quadrangle: Not reported
Site Init By Prog: Not reported
NFRAP Flag: Not reported
Parent ID: Not reported
RST Code: Not reported
EPA Region: 02
Classification: Waterways/Creeks/Rivers
Site Settings Code: SU
NPL Status: Currently on the Final NPL
DMNSN Unit Code: Not reported
RBRAC Code: Not reported
RResp Fed Agency Code: Not reported
Non NPL Status: Not reported
Non NPL Status Date: / /
Site Fips Code: 36115
CC Concurrence Date: / /
CC Concurrence FY: Not reported
Alias EPA ID: Not reported
Site FUDS Flag: Not reported

CERCLIS Site Contact Name(s):

Contact ID: 13002796.00000
Contact Name: JENNIFER LAPOMA
Contact Tel: (212) 637-4328
Contact Title: Remedial Project Manager (RPM)
Contact Email: Not reported

CERCLIS Site Alias Name(s):

Alias ID: 101
Alias Name: HUDSON RIVER PCBS
Alias Address: Not reported
WARREN, NY
Alias ID: 102
Alias Name: HUDSON RIVER PCBS
Alias Address: NO STREET APPLICABLE
NO CITY APPLICABLE, NY 12801
Alias ID: 103
Alias Name: HUDSON RIVER PCBS
Alias Address: NO STREET APPLICABLE
HUDSON RIVER, NY 12801
Alias Comments: Not reported

Site Description: The Hudson River PCBs Site includes a nearly 200 river-mile stretch of the Hudson River in eastern New York State from the Village of Hudson Falls to the

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Battery in New York City. The Hudson River has been designated an American Heritage River because of its important role in American history and culture. This federal Superfund Record of Decision (ROD) addresses the risks to people and ecological receptors associated with polychlorinated biphenyls (PCBs) in the in-place sediments of the Upper Hudson River. The Site is divided into the Upper Hudson River which is the length of river between Hudson Falls and the Federal Dam at Troy, New York and the Lower Hudson River which is the length of river between Federal Dam at Troy and the Battery. For purposes of this project, EPA further divided the Upper Hudson River area into three main sections known as River Section 1, River Section 2, and River Section 3. The Site also includes five Remnant Deposits, which are areas of PCB-contaminated sediment that became exposed after the river water level dropped following removal of the Fort Edward Dam in 1973. The Upper Hudson River portion of the Site extends from the Fenimore Bridge in Hudson Falls to the Federal Dam at Troy, a distance of just over 43 river miles. The Lower Hudson River extends from the Federal Dam to the southern tip of Manhattan at the Battery in New York City. The Mid-Hudson River, which is primarily a subset of the Lower Hudson River, extends from the Federal Dam at Troy to just south of Poughkeepsie. The predominant sources of PCB contamination to the Upper Hudson River were two capacitor manufacturing plants owned and operated by GE. The plants are located adjacent to or near the Hudson River in the Village of Hudson Falls and the Town of Fort Edward. Over a 30-year period, the plants discharged a substantial amount of PCBs into the river. At the GE Hudson Falls plant, leakage of non-aqueous phase PCB-bearing oils through bedrock to the river continues to be a source of PCB contamination. Regarding the former outfall to the Hudson River from the GE Fort Edward plant, New York State Department of Environmental Conservation (NYSDEC) issued a Record of Decision in January 2000 that calls for the excavation of PCB-contaminated soil and sediment in this area of the Upper Hudson River shoreline in order to eliminate this source of PCBs to the river. EPA's analysis assumes a significantly reduced PCB loading to the river from these sources once the State's plans for remediation are implemented. PCBs, the chemicals of concern addressed in this decision document, have been classified by EPA as probable human carcinogens. They are also linked to other serious non-cancer adverse health effects based on observations in animals and emerging evidence in humans. Once discharged from the GE plants, the PCBs adhered to river sediment and accumulated downstream as they settled in impounded pools and other depositional areas. Historic fish and sediment data indicated PCBs were accumulating downstream of the old Fort Edward Dam as well as accumulating behind the dam. The removal of the dam in 1973 resulted in a remobilization and downstream distribution of PCBs that had accumulated behind the dam. Historically, the highest PCB sediment concentrations have been detected in the cohesive sediments within the Upper Hudson River. River scouring/ erosion and other mechanisms have mobilized PCB-contaminated sediments from the extensive cohesive deposits, redepositing them farther downstream all the way to the Battery. The preponderance of data indicates that burial of contaminated sediment by cleaner materials is not universally or uniformly occurring. Data also indicate that contaminated sediments in River Sections 1, 2 and 3 continue to serve as the major source of PCBs to the water column and the fish within the Upper Hudson River. During an approximate 30-year period ending in 1977, PCBs were used in capacitor manufacturing operations Hudson Falls and Fort Edward, New York facilities. PCB oils were discharged both directly and indirectly from these plants into the Hudson River. This included both non-permitted and permitted discharges. Even after permits were received in 1975, permit exceedances occurred. Estimates of the total quantity of PCBs discharged directly from the two plants into the river from the 1940s to 1977 are as high as 1,330,000 pounds (about 605,000 kg). Many of the PCBs

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discharged to the river adhered to sediments and accumulated with the sediments as they settled in the impounded pool behind the Fort Edward Dam, as well as other depositional areas farther downstream. Because of its deteriorating condition, the Fort Edward Dam was removed in 1973. Five areas of PCB-contaminated sediments were exposed due to the lowering of the river water level when the Fort Edward Dam was removed. These five areas are known as the Remnant Deposits. During subsequent floods, PCB-contaminated sediments from the Fort Edward Dam area were scoured and transported downstream. EPA notified the company that had the two plants of the remedy selected in the 1984 ROD and offered the company the opportunity to implement the selected remedy with respect to the Remnant Deposits and the Waterford drinking water supply evaluation. The company declined EPA's offer. NYSDEC, with funding provided by EPA, conducted the evaluation at the Waterford Water Works. In addition, NYSDEC prepared a design for the in-place containment of the Remnant Deposits. This design was completed in 1988. In March 1989, the company offered to assume responsibility for the implementation of the in-place containment remedy for the Remnant Deposits. EPA issued a September 27, 1989 Administrative Order on Consent to the company which required the company to prepare a remedial design report for the construction of access roads to the Remnant Deposits and to submit a design for the in-place containment of the Remnant Deposits incorporating the NYSDEC-prepared design, plus any EPA-approved refinements to that design. EPA also issued a September 27, 1989 Administrative Order to the company requiring the company to construct and maintain the access roads to the Remnant Deposits. The company constructed the in-place containment of the Remnant Deposits under a 1990 Consent Decree with EPA. EPA will evaluate the need for further remedial action for the Remnant Deposits after completion of a 5-year review of the Remnant Deposit containment remedy, performed pursuant to CERCLA §121(c). The company's manufacturing plants in Hudson Falls and Fort Edward are listed under the New York State Inactive Hazardous Waste Disposal Sites Remedial program. The company currently is conducting remedial activities near the Hudson Falls and Fort Edward plants pursuant to Orders on Consent with NYSDEC. The company has thus far declined to implement the January 2000 NYSDEC Record of Decision for the Fort Edward plant Outfall 004. The NYSDEC is conducting the remedial design for that ROD. As one of America's great rivers, the Hudson has played and will continue to play a major role in the history, culture, and economy of the area. The Hudson has been designated an American Heritage River because of its important role in American history and culture. Current and reasonably-anticipated future land use and surface water use are described below. Current land use includes a variety of residential, commercial and industrial activities. Use of the river and lands surrounding the river are projected to remain the same. At this time, no changes in future land use are known, nor are any new uses expected. The Site passes through 14 different counties as the river flows to its final discharge point in New York Harbor. Four counties (Albany, Washington, Rensselaer, and Saratoga) lie adjacent to the more highly contaminated portions (areas of proposed active remediation in River Sections 1, 2 and 3) of the Upper Hudson River between Troy (Federal Dam) and Hudson Falls. Within these four counties, forests and farmlands surround urban centers and historic villages. There are apple orchards and dairy farms, parks, nature preserves and gardens. In addition to the GE Hudson Falls and Fort Edward plants, the area is home to technology companies, oil service companies and food companies. Saratoga and Washington Counties have experienced population growth between 1990 and 1999 of 10.2 percent and 1.4 percent, respectively, while Rensselaer and Albany Counties have experienced population declines of 1.9 percent and 0.3 percent, respectively. Total population of these four counties, according to July 1999 estimates by the US Department of Commerce Bureau of the Census, is just under 700,000. Warren County, in which the City of Glens Falls is located, has a

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population of just over 60,000 and is just to the northwest of the Hudson River PCBs Site. A Record of Decision (ROD) addressing operable unit 1 (OU 01) was completed in September 1984. A Record of Decision addressing OU 2 was completed in February 2002.

CERCLIS Assessment History:

Action Code: 001
Action: DISCOVERY
Date Started: / /
Date Completed: 07/01/83
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: SITE INSPECTION
Date Started: 08/01/83
Date Completed: 09/01/83
Priority Level: Higher priority for further assessment
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: PRELIMINARY ASSESSMENT
Date Started: / /
Date Completed: 09/01/83
Priority Level: Low priority for further assessment
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: PROPOSAL TO NATIONAL PRIORITIES LIST
Date Started: / /
Date Completed: 09/08/83
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: NATIONAL PRIORITIES LIST RESPONSIBLE PARTY SEARCH
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Date Completed: 11/15/83
Priority Level: Search Complete, Viable PRPs
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: FINAL LISTING ON NATIONAL PRIORITIES LIST
Date Started: / /
Date Completed: 09/21/84
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: COMBINED REMEDIAL INVESTIGATION/FEASIBILITY STUDY
Date Started: 03/30/84
Date Completed: 09/25/84
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: EPA Fund-Financed
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: RECORD OF DECISION
Date Started: / /
Date Completed: 09/25/84
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: EPA Fund-Financed
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: REMEDIAL DESIGN/REMEDIAL ACTION NEGOTIATIONS
Date Started: 10/27/83
Date Completed: 09/28/84
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

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HUDSON RIVER PCBS (Continued)

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Action: ADMINISTRATIVE/VOLUNTARY COST RECOVERY
Date Started: / /
Date Completed: 05/04/88
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: REMEDIAL DESIGN
Date Started: 02/02/89
Date Completed: 06/05/89
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: EPA Fund-Financed
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Original Action Take Over

Action Code: 003
Action: REMEDIAL DESIGN/REMEDIAL ACTION NEGOTIATIONS
Date Started: 06/09/89
Date Completed: 09/27/89
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Alternate
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: REMEDIAL DESIGN/REMEDIAL ACTION NEGOTIATIONS
Date Started: 06/09/89
Date Completed: 09/27/89
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: ADMINISTRATIVE ORDER ON CONSENT
Date Started: / /
Date Completed: 09/27/89
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: Federal Enforcement
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

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HUDSON RIVER PCBS (Continued)

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Action Code: 001
Action: UNILATERAL ADMIN ORDER
Date Started: / /
Date Completed: 09/27/89
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 004
Action: REMEDIAL DESIGN/REMEDIAL ACTION NEGOTIATIONS
Date Started: 03/03/89
Date Completed: 04/06/90
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Alternate
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: REMEDIAL DESIGN
Date Started: 09/28/84
Date Completed: 05/18/90
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: State, Fund Financed
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Original Action Take Over

Action Code: 001
Action: Lodged By DOJ
Date Started: / /
Date Completed: 05/18/90
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: CONSENT DECREE
Date Started: 04/06/90
Date Completed: 07/21/90
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: Federal Enforcement
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

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Action Code: 001
Action: REMOVAL ASSESSMENT
Date Started: 04/17/90
Date Completed: 08/21/90
Priority Level: Stabilized
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: POTENTIALLY RESPONSIBLE PARTY REMEDIAL DESIGN
Date Started: 09/27/89
Date Completed: 09/28/90
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: Responsible Party
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: New Action Resulting from Take Over

Action Code: 001
Action: REMEDIAL INVESTIGATION/FEASIBILITY STUDY NEGOTIATIONS
Date Started: 03/12/90
Date Completed: 10/04/90
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Alternate
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: POTENTIALLY RESPONSIBLE PARTY REMEDIAL DESIGN
Date Started: 05/18/89
Date Completed: 01/07/91
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: Responsible Party
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: New Action Resulting from Take Over

Action Code: 001
Action: POTENTIALLY RESPONSIBLE PARTY REMEDIAL ACTION
Date Started: 10/13/89
Date Completed: 09/29/92
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: Responsible Party
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

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Action Code: 002
Action: POTENTIALLY RESPONSIBLE PARTY REMEDIAL ACTION
Date Started: 09/28/90
Date Completed: 09/29/92
Priority Level: Not reported
Operable Unit: REMNANT DEPOSIT CAPPING
Primary Responsibility: Responsible Party
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: REMOVAL ASSESSMENT
Date Started: 11/19/92
Date Completed: 12/01/92
Priority Level: Stabilized
Operable Unit: ROGER'S ISLAND
Primary Responsibility: EPA Fund-Financed
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: COMFORT/STATUS LETTER
Date Started: / /
Date Completed: 11/02/98
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 004
Action: REMOVAL ASSESSMENT
Date Started: 10/14/98
Date Completed: 01/07/99
Priority Level: Not reported
Operable Unit: ROGER'S ISLAND
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 003
Action: REMOVAL ASSESSMENT
Date Started: 06/03/98
Date Completed: 06/24/99
Priority Level: Not reported
Operable Unit: ROGER'S ISLAND
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

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HUDSON RIVER PCBs (Continued)

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Action Code: 001
Action: Public Notice Published
Date Started: / /
Date Completed: 03/28/00
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: REMOVAL
Date Started: 10/06/99
Date Completed: 09/14/01
Priority Level: Stabilized
Operable Unit: ROGER'S ISLAND
Primary Responsibility: EPA Fund-Financed
Planning Status: Primary
Urgency Indicator: Time Critical
Action Anomaly: Not reported

Action Code: 002
Action: COMBINED REMEDIAL INVESTIGATION/FEASIBILITY STUDY
Date Started: 07/25/90
Date Completed: 02/01/02
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: EPA Fund-Financed
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: RECORD OF DECISION
Date Started: / /
Date Completed: 02/01/02
Priority Level: Final Remedy Selected at Site
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: EPA Fund-Financed
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: Special Notice Issued
Date Started: / /
Date Completed: 02/04/02
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

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HUDSON RIVER PCBS (Continued)

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Action Code: 003
Action: Special Notice Issued
Date Started: / /
Date Completed: 02/04/02
Priority Level: Not reported
Operable Unit: FLOODPLAINS OU
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: Special Notice Issued
Date Started: / /
Date Completed: 02/04/02
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 005
Action: REMEDIAL DESIGN/REMEDIAL ACTION NEGOTIATIONS
Date Started: 02/04/02
Date Completed: 07/23/02
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Federal Enforcement
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: ADMINISTRATIVE ORDER ON CONSENT
Date Started: / /
Date Completed: 07/23/02
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 006
Action: REMEDIAL DESIGN/REMEDIAL ACTION NEGOTIATIONS
Date Started: 07/23/02
Date Completed: 08/13/03
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported

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Action Anomaly: Not reported

Action Code: 003
Action: ADMINISTRATIVE ORDER ON CONSENT
Date Started: / /
Date Completed: 08/13/03
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: EXPANDED SITE INSPECTION/REMEDIAL INVESTIGATION
Date Started: / /
Date Completed: 08/31/05
Priority Level: Referred to Removal, no further Rmdl Asmt
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 007
Action: REMEDIAL DESIGN/REMEDIAL ACTION NEGOTIATIONS
Date Started: 02/04/02
Date Completed: 09/06/05
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: TECHNICAL ASSISTANCE GRANT
Date Started: 09/29/95
Date Completed: 09/20/05
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: Lodged By DOJ
Date Started: / /
Date Completed: 10/06/05
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Federal Enforcement

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Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: COMMUNITY INVOLVEMENT
Date Started: 03/25/02
Date Completed: 11/02/06
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Remedial
Action Anomaly: Not reported

Action Code: 002
Action: CONSENT DECREE
Date Started: 09/06/05
Date Completed: 11/02/06
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: UNILATERAL ADMIN ORDER
Date Started: / /
Date Completed: 03/29/07
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: STATE SUPPORT AGENCY COOPERATIVE AGREEMENT
Date Started: 02/22/91
Date Completed: 04/03/07
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: EPA Fund-Financed
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: REMOVAL NEGOTIATIONS
Date Started: / /
Date Completed: 07/11/07
Priority Level: Not reported
Operable Unit: FLOODPLAINS OU

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Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 005
Action: ADMINISTRATIVE ORDER ON CONSENT
Date Started: / /
Date Completed: 07/11/07
Priority Level: Not reported
Operable Unit: FLOODPLAINS OU
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: POTENTIALLY RESPONSIBLE PARTY EMERGENCY REMOVAL
Date Started: 08/24/07
Date Completed: 08/27/07
Priority Level: Cleaned up
Operable Unit: SITEWIDE
Primary Responsibility: Responsible Party
Planning Status: Not reported
Urgency Indicator: Emergency
Action Anomaly: Not reported

Action Code: 004
Action: POTENTIALLY RESPONSIBLE PARTY REMEDIAL DESIGN
Date Started: 08/14/03
Date Completed: 01/25/08
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Responsible Party
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Phased Start

Action Code: 001
Action: SECTION 104(E) REF LITIGATION
Date Started: 09/27/07
Date Completed: 07/28/08
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 004
Action: UNILATERAL ADMIN ORDER
Date Started: / /
Date Completed: 09/05/08

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 003
Action: UNILATERAL ADMIN ORDER
Date Started: / /
Date Completed: 09/05/08
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: REMEDIAL INVESTIGATION/FEASIBILITY STUDY NEGOTIATIONS
Date Started: 02/04/02
Date Completed: 09/08/08
Priority Level: Not reported
Operable Unit: FLOODPLAINS OU
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 006
Action: ADMINISTRATIVE ORDER ON CONSENT
Date Started: / /
Date Completed: 09/08/08
Priority Level: Not reported
Operable Unit: FLOODPLAINS OU
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 005
Action: UNILATERAL ADMIN ORDER
Date Started: / /
Date Completed: 09/11/08
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 006

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

Action: UNILATERAL ADMIN ORDER
Date Started: / /
Date Completed: 10/14/08
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 007
Action: UNILATERAL ADMIN ORDER
Date Started: / /
Date Completed: 02/03/09
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: Federal Enforcement
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: REMEDIAL ACTION
Date Started: 05/09/08
Date Completed: 11/24/09
Priority Level: Final RA Report
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Special Account Financed Action - EPA
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 003
Action: REMEDIAL ACTION
Date Started: 12/04/08
Date Completed: 12/23/09
Priority Level: Final RA Report
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Special Account Financed Action - EPA
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 006
Action: POTENTIALLY RESPONSIBLE PARTY REMEDIAL DESIGN
Date Started: 08/14/03
Date Completed: 04/26/11
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Responsible Party
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

Action: POTENTIALLY RESPONSIBLE PARTY REMOVAL
Date Started: 09/11/07
Date Completed: 04/10/12
Priority Level: Stabilized
Operable Unit: FLOODPLAINS OU
Primary Responsibility: Responsible Party
Planning Status: Not reported
Urgency Indicator: Time Critical
Action Anomaly: Not reported

Action Code: 001
Action: FIVE-YEAR REVIEW
Date Started: / /
Date Completed: 06/01/12
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 003
Action: POTENTIALLY RESPONSIBLE PARTY REMEDIAL ACTION
Date Started: 09/06/05
Date Completed: 09/04/12
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Responsible Party
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: TECHNICAL ASSISTANCE
Date Started: 09/30/97
Date Completed: / /
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 003
Action: REMEDIAL DESIGN
Date Started: 02/15/02
Date Completed: / /
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Special Account Financed Action - EPA
Planning Status: Primary
Urgency Indicator: Not reported
Action Anomaly: Other Completion Anomaly

Action Code: 003

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBs (Continued)

1000384273

Action: POTENTIALLY RESPONSIBLE PARTY REMEDIAL DESIGN
Date Started: 07/23/02
Date Completed: / /
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Responsible Party
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Phased Start & Completion

Action Code: 002
Action: TECHNICAL ASSISTANCE
Date Started: 07/08/03
Date Completed: / /
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: REMEDIAL ACTION
Date Started: 01/19/07
Date Completed: / /
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Special Account Financed Action - State
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Other Start and Completion Anomaly

Action Code: 001
Action: REAL PROPERTY ACQUISITION
Date Started: 02/15/08
Date Completed: / /
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Not reported
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 001
Action: POTENTIALLY RESPONSIBLE PARTY REMEDIAL INVESTIGATION/FEASIBILITY STUDY
Date Started: 09/08/08
Date Completed: / /
Priority Level: Not reported
Operable Unit: FLOODPLAINS OU
Primary Responsibility: Responsible Party
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 002
Action: TECHNICAL ASSISTANCE GRANT

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

Date Started: 11/17/09
Date Completed: / /
Priority Level: Not reported
Operable Unit: SITEWIDE
Primary Responsibility: EPA Fund-Financed
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Action Code: 004
Action: POTENTIALLY RESPONSIBLE PARTY REMEDIAL ACTION
Date Started: 12/31/10
Date Completed: / /
Priority Level: Not reported
Operable Unit: REASSESSMENT RIVER
Primary Responsibility: Responsible Party
Planning Status: Not reported
Urgency Indicator: Not reported
Action Anomaly: Not reported

Federal Register Details:

Fed Register Date: 09/21/84
Fed Register Volume: 49
Page Number: 37070

Fed Register Date: 09/08/83
Fed Register Volume: 48
Page Number: 40674

RCRA-SQG:

Date form received by agency: 03/03/2014
Facility name: GE HUDSON RIVER SEDIMENT REMEDIATION PROCESSING AND TRANSPORTATION FACILITY
Facility address: 446 LOCK 8 WAY
HUDSON FALLS, NY 12839
EPA ID: NYD980763841
Mailing address: BROADWAY
BLDG 40
FORT EDWARD, NY 12828
Contact: JAY SNOW
Contact address: BROADWAY BLDG 40
FORT EDWARD, NY 12828
Contact country: US
Contact telephone: (518) 746-5678
Contact email: JAY.SNOW@GE.COM
EPA Region: 02
Classification: Small Small Quantity Generator
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: GE HUDSON RIVER SEDIMENT REMEDIATION
Owner/operator address: BROADWAY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

FORT EDWARD, NY 12828
Owner/operator country: US
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 04/23/2007
Owner/Op end date: Not reported

Owner/operator name: GE HUDSON RIVER SEDIMENT REMEDIATION
Owner/operator address: BROADWAY
FORT EDWARD, NY 12828

Owner/operator country: US
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 04/23/2007
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D006
. Waste name: CADMIUM

. Waste code: D007
. Waste name: CHROMIUM

. Waste code: D008
. Waste name: LEAD

. Waste code: B007
. Waste name: B007

Historical Generators:

Date form received by agency: 03/01/2012
Site name: GE HUDSON RIVER SEDIMENT REMEDIATION PROCESSING AND TRANSPORTATION FACILITY
Classification: Large Quantity Generator

. Waste code: B002
. Waste name: B002

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

. Waste code: B007
. Waste name: B007

Date form received by agency: 03/03/2010

Site name: GE HUDSON RIVER SEDIMENT REMEDIATION PROCESSING AND TRANSPORTATION FACILITY

Classification: Large Quantity Generator

. Waste code: B007
. Waste name: B007

Date form received by agency: 08/29/2008

Site name: HUDSON RIVER PCBS (ROGERS ISLAND) SUPERFUND USEPA

Classification: Large Quantity Generator

Date form received by agency: 01/01/2007

Site name: HUDSON RIVER PCBS (ROGERS ISLAND) USEPA

Classification: Not a generator, verified

Date form received by agency: 01/01/2006

Site name: HUDSON RIVER PCBS (ROGERS ISLAND) USEPA

Classification: Not a generator, verified

Date form received by agency: 01/01/2001

Site name: HUDSON RIVER PCBS (ROGERS ISLAND) USEPA

Classification: Large Quantity Generator

Violation Status: No violations found

US ENG CONTROLS:

EPA ID: NYD980763841
Site ID: 0202229
Name: HUDSON RIVER PCBS
Address: NO STREET APPLICABLE
HUDSON RIVER, NY 12801

EPA Region: 02
County: WASHINGTON
Event Code: Not reported
Actual Date: 12/30/2001
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

Action ID: 001
Action Name: RECORD OF DECISION
Action Completion date: 09/25/1984
Operable Unit: 01
Contaminated Media : Sediment
Engineering Control: Containment, (N.O.S.)
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

Action ID: 001
Action Name: RECORD OF DECISION
Action Completion date: 09/25/1984
Operable Unit: 01
Contaminated Media : Sediment

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

Engineering Control: No Action
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

Action ID: 001
Action Name: RECORD OF DECISION
Action Completion date: 09/25/1984
Operable Unit: 01
Contaminated Media : Sediment
Engineering Control: Revegetation
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

Action ID: 001
Action Name: RECORD OF DECISION
Action Completion date: 09/25/1984
Operable Unit: 01
Contaminated Media : Sediment
Engineering Control: Slope Stabilization
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

Action ID: 002
Action Name: RECORD OF DECISION
Action Completion date: 02/01/2002
Operable Unit: 02
Contaminated Media : Sediment
Engineering Control: Dewatering
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

Action ID: 002
Action Name: RECORD OF DECISION
Action Completion date: 02/01/2002
Operable Unit: 02
Contaminated Media : Sediment
Engineering Control: Disposal
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

Action ID: 002
Action Name: RECORD OF DECISION
Action Completion date: 02/01/2002
Operable Unit: 02
Contaminated Media : Sediment
Engineering Control: Excavation
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

Action ID: 002
Action Name: RECORD OF DECISION

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

Action Completion date: 02/01/2002
Operable Unit: 02
Contaminated Media : Sediment
Engineering Control: Solidification/Stabilization (Ex-Situ)
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

Action ID: 002
Action Name: RECORD OF DECISION
Action Completion date: 02/01/2002
Operable Unit: 02
Contaminated Media : Surface Water
Engineering Control: Monitoring
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

Action ID: 002
Action Name: RECORD OF DECISION
Action Completion date: 02/01/2002
Operable Unit: 02
Contaminated Media : Surface Water
Engineering Control: Natural Attenuation
Contact Name: Not reported
Contact Phone and Ext: Not reported
Event Code Description: Not reported

US INST CONTROL:

EPA ID: NYD980763841
Site ID: 0202229
Name: HUDSON RIVER PCBS
Action Name: RECORD OF DECISION
Address: NO STREET APPLICABLE
HUDSON RIVER, NY 12801
EPA Region: 02
County: WASHINGTON
Event Code: Not reported
Inst. Control: Fishing Advisory
Actual Date: 12/30/2001
Compleat. Date: 02/01/2002
Operable Unit: 02
Contaminated Media : Surface Water
Contact Name : Not reported
Contact Phone and Ext : Not reported
Event Code Description: Not reported

SPILLS:

Facility ID: 0308107
Facility Type: ER
DER Facility ID: 278391
Site ID: 237813
DEC Region: 3
Spill Date: 2003-10-31
Spill Number/Closed Date: 0308107 / 2003-10-31

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER PCBS (Continued)

1000384273

Spill Cause: Abandoned Drums
Spill Class: Possible release with minimal potential for fire or hazard or Known release with no damage. DEC Response. Willing Responsible Party. Corrective action taken.

SWIS: 6000
Investigator: rxamato
Referred To: Not reported
Reported to Dept: 2003-10-31
CID: 297
Water Affected: HUDSON RIVER
Spill Source: Unknown
Spill Notifier: Federal Government
Cleanup Ceased: Not reported
Cleanup Meets Std: True
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 2003-10-31
Spill Record Last Update: 2003-11-06
Spiller Name: Not reported
Spiller Company: UNKNOWN
Spiller Address: Not reported
Spiller City,St,Zip: ZZ -
Spiller Company: 001
Contact Name: PETTY OFFICER HAWKINS
Contact Phone: (718) 354-4121
DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was SMITH 10/31/03: MEG hired by USCG to remove test and dispose. Container did not leak."

Remarks: "CALL TO NRC REPORTING A 55 GALLON DRUM OF UNKNOWN PETROLEUM FLOATING - USCG IS REPOSNDING TO THE SITE"

Material:
Site ID: 237813
Operable Unit ID: 874400
Operable Unit: 01
Material ID: 501630
Material Code: 0066A
Material Name: unknown petroleum
Case No.: Not reported
Material FA: Petroleum
Quantity: 55.00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

ROD:

Full-text of USEPA Record of Decision(s) is available from EDR.

PRP:

PRP name: DELAWARE AND HUDSON RAILWAY CO INC

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

HUDSON RIVER PCBs (Continued)

1000384273

GENERAL ELECTRIC COMPANY
 GENERAL ELECTRIC COMPANY
 GENERAL ELECTRIC COMPANY
 GENERAL ELECTRIC COMPANY
 GENERAL ELECTRIC COMPANY
 GENERAL ELECTRIC COMPANY
 GENERAL ELECTRIC COMPANY
 GENERAL ELECTRIC COMPANY
 GOLUB PROPERTIES OF WATERVLIET INC
 NEW YORK STATE CANAL CORPORATION
 NIAGARA MOHAWK POWER COMPANY
 TOWN OF HALFMOON NEW YORK
 VILLAGE OF STILLWATER
 WATER COMMISSIONERS OF THE TOWN OF WATERFORD

CONSENT:

EPA ID: NYD980763841
 Site ID: 0284
 Case Title: U.S.V. GENERAL ELECTRIC COMPANY (HUDSON RIVER) (EPA-SUPERFUND)
 Court Num: 05-1270
 District: New York, North
 Entered Date: 11/02/06
 Full-text of the consent decree for this site issued by the United States District Court is available from EDR. Contact your EDR Account Executive.

B2

**EDR Hist Auto 1015115360
 N/A**

< 1/8
 1 ft.

**1 FORBES AVE
 RENSSELAER, NY 12144**

Site 1 of 19 in cluster B

**Relative:
 Lower**

EDR Historical Auto Stations:

Name: HARTS COLLISION INC
 Year: 2007

**Actual:
 27 ft.**

Address: 1 FORBES AVE

Name: HARTS COLLISION INC
 Year: 2011
 Address: 1 FORBES AVE

B3

**NY Spills S107409643
 N/A**

< 1/8
 1 ft.

**JELLIFF VANDALIZED DRUMS FORBES RD SEWER
 FORBES RD
 RENSSELAER, NY**

Site 2 of 19 in cluster B

**Relative:
 Lower**

SPILLS:

Facility ID: 8701013
 Facility Type: ER
 DER Facility ID: 176575
 Site ID: 213129
 DEC Region: 4
 Spill Date: 1987-05-04
 Spill Number/Closed Date: 8701013 / 1987-05-06
 Spill Cause: Vandalism

**Actual:
 18 ft.**

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF VANDALIZED DRUMS FORBES RD SEWER (Continued)

S107409643

Spill Class: Known release that creates potential for fire or hazard. DEC Response.
Willing Responsible Party. Corrective action taken.

SWIS: 4214

Investigator: MCDONALD

Referred To: Not reported

Reported to Dept: 1987-05-06

CID: Not reported

Water Affected: Not reported

Spill Source: Commercial/Industrial

Spill Notifier: Responsible Party

Cleanup Ceased: 1987-05-06

Cleanup Meets Std: True

Last Inspection: 1987-05-06

Recommended Penalty: False

UST Trust: False

Remediation Phase: 0

Date Entered In Computer: 1987-05-08

Spill Record Last Update: 2014-07-11

Spiller Name: Not reported

Spiller Company: DRUMS @ JELLIFF (LATER HILTON IND PK)

Spiller Address: Not reported

Spiller City,St,Zip: ***UPDATE**, ZZ

Spiller Company: 999

Contact Name: Not reported

Contact Phone: Not reported

DEC Memo: "(PBS 4-443514; 8202013, 8602120, 8701013, 8806485, 9516418, 9901711, 0804418, 1300591)"

Remarks: "VANDALISM TO BARRELS - TRAPPED IN SEWER OWNER HIRED DOMERMUTH TO CLEAN UP"

Material:

Site ID: 213129

Operable Unit ID: 905596

Operable Unit: 01

Material ID: 470983

Material Code: 0022

Material Name: waste oil/used oil

Case No.: Not reported

Material FA: Petroleum

Quantity: 100.00

Units: Gallons

Recovered: .00

Resource Affected: Not reported

Oxygenate: Not reported

Tank Test:

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

B4 **DPW TRUCK @ ROBERTS & NICHOLS FIRE APPARATUS TRACY**
8 TRACY ST
< 1/8 **RENSELAER, NY**
1 ft.

NY Spills **S108981038**
N/A

Site 3 of 19 in cluster B

Relative:
Higher

Actual:
28 ft.

SPILLS:
 Facility ID: 0709694
 Facility Type: ER
 DER Facility ID: 340421
 Site ID: 390810
 DEC Region: 4
 Spill Date: 2007-12-09
 Spill Number/Closed Date: 0709694 / 2007-12-10
 Spill Cause: Equipment Failure
 Spill Class: Known release with minimal potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.

SWIS:
 4214
 Investigator: weblain
 Referred To: Not reported
 Reported to Dept: 2007-12-09
 CID: 72
 Water Affected: Not reported
 Spill Source: Commercial/Industrial
 Spill Notifier: Police Department
 Cleanup Ceased: Not reported
 Cleanup Meets Std: True
 Last Inspection: Not reported
 Recommended Penalty: False
 UST Trust: Not reported
 Remediation Phase: 0
 Date Entered In Computer: 2007-12-09
 Spill Record Last Update: 2012-05-22
 Spiller Name: Not reported
 Spiller Company: RENSELAER CITY DPW
 Spiller Address: Not reported
 Spiller City,St,Zip: ZZ
 Spiller Company: 999
 Contact Name: RENSELAER CITY POLICE
 Contact Phone: (518) 462-7451
 DEC Memo: "DPW truck @ ROBERTS & NICHOLS FIRE Apparatus. WTC. onsite, cleanup will be straightforward. 12/10/07 Mayor Dwyer reports that cleanup finished. Site was rented by City as temporary DPW. Property owner is ok with cleanup. closed"

Remarks: "City DPW truck leaking 20-40 gallons of diesel fuel, dyked/contalned. Requesting DEC response to scene."

Material:
 Site ID: 390810
 Operable Unit ID: 1147904
 Operable Unit: 01
 Material ID: 2138386
 Material Code: 0001A
 Material Name: #2 fuel oil
 Case No.: Not reported
 Material FA: Petroleum
 Quantity: 30.00
 Units: Gallons
 Recovered: 28.00
 Resource Affected: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

DPW TRUCK @ ROBERTS & NICHOLS FIRE APPARATUS TRACY (Continued)

S108981038

Oxygenate: Not reported

Tank Test:

B5 **POLSINELLO TERMINAL INC.**
FORBES & TRACY STREETS
RENSSELAER, NY 12144

MOSF S108413501
N/A

< 1/8
 1 ft.

Site 4 of 19 in cluster B

Relative: MOSF:
Lower Facility ID: 4-1620
 Program Type: MOSF
Actual: Tank Status: Inactive
25 ft. Expiration Date: Not reported
 Dec Region: 4
 UTMX: 603635.27003
 UTM Y: 4723425.34993

B6 **9 TRACY ST**
9 TRACY ST
RENSSELAER, NY 12144

US BROWNFIELDS 1016447303
FINDS N/A

< 1/8
 1 ft.

Site 5 of 19 in cluster B

Relative: US BROWNFIELDS:
Higher Recipient name: Rensselaer, City of
 Grant type: Assessment
Actual: Property name: 9 TRACY ST
33 ft. Property #: 133.77-3-8
 Parcel size: .09
 Property Description: Not reported
 Latitude: 42.656324
 Longitude: -73.73494199999999
 HCM label: Address Matching-House Number
 Map scale: Not reported
 Point of reference: Entrance Point of a Facility or Station
 Datum: North American Datum of 1983
 ACRES property ID: 153983
 Start date: Not reported
 Completed date: Not reported
 Acres cleaned up: Not reported
 Cleanup funding: Not reported
 Cleanup funding source: Not reported
 Assessment funding: 3000
 Assessment funding source: US EPA - Brownfields Assessment Cooperative Agreement
 Redevelopment funding: Not reported
 Redev. funding source: Not reported
 Redev. funding entity name: Not reported
 Redevelopment start date: Not reported
 Assessment funding entity: EPA
 Cleanup funding entity: Not reported
 Grant type: Hazardous
 Accomplishment type: Phase I Environmental Assessment
 Accomplishment count: 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

9 TRACY ST (Continued)

1016447303

Cooperative agreement #:	97249507
Ownership entity:	Not reported
Current owner:	Not reported
Did owner change:	Not reported
Cleanup required:	Unknown
Video available:	Not reported
Photo available:	Not reported
Institutional controls required:	U
IC Category proprietary controls:	Not reported
IC cat. info. devices:	Not reported
IC cat. gov. controls:	Not reported
IC cat. enforcement permit tools:	Not reported
IC in place date:	Not reported
IC in place:	Not reported
State/tribal program date:	Not reported
State/tribal program ID:	Not reported
State/tribal NFA date:	Not reported
Air contaminated:	Not reported
Air cleaned:	Not reported
Asbestos found:	Not reported
Asbestos cleaned:	Not reported
Controlled substance found:	Not reported
Controlled substance cleaned:	Not reported
Drinking water affected:	Not reported
Drinking water cleaned:	Not reported
Groundwater affected:	Not reported
Groundwater cleaned:	Not reported
Lead contaminant found:	Not reported
Lead cleaned up:	Not reported
No media affected:	Not reported
Unknown media affected:	Not reported
Other cleaned up:	Not reported
Other metals found:	Not reported
Other metals cleaned:	Not reported
Other contaminants found:	Not reported
Other contams found description:	Not reported
PAHs found:	Not reported
PAHs cleaned up:	Not reported
PCBs found:	Not reported
PCBs cleaned up:	Not reported
Petro products found:	Not reported
Petro products cleaned:	Not reported
Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Not reported
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Not reported
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	Not reported
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

9 TRACY ST (Continued)

1016447303

Future use commercial acreage:	Not reported
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported
Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported
Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported
Selenium cleaned up:	Not reported
SVOCs cleaned up:	Not reported
Unknown clean up:	Not reported
Arsenic contaminant found:	Not reported
Cadmium contaminant found:	Not reported
Chromium contaminant found:	Not reported
Copper contaminant found:	Not reported
Iron contaminant found:	Not reported
Mercury contaminant found:	Not reported
Nickel contaminant found:	Not reported
No contaminant found:	Not reported
Pesticides contaminant found:	Not reported
Selenium contaminant found:	Not reported
SVOCs contaminant found:	Not reported
Unknown contaminant found:	Not reported
Future Use: Multistory	Not reported
Media affected Bluiding Material:	Not reported
Media affected indoor air:	Not reported
Building material media cleaned up:	Not reported
Indoor air media cleaned up:	Not reported
Unknown media cleaned up:	Not reported
Past Use: Multistory	Not reported
Highlights:	Not reported
IC Data Address:	Not reported
Redev Completion Date:	Not reported
# Below Poverty:	472
% Below Poverty:	6.1%
# Low Income:	1154
% Low Income:	2.5%
Meidan Income:	33150
# Unemployed:	111
% Unemployed:	25.7%
# Vacant Housing:	108
% Vacant Housing:	26.4%

FINDS:

Registry ID: 110056252969

Environmental Interest/Information System

US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES) is an federal online database for Brownfields Grantees to electronically submit data directly to EPA.

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

A7 **HILTON INDUSTRIAL PARK FORBES AVE**
FORBES AVE
< 1/8 **RENSELAER, NY**
1 ft.

NY Spills **S109206307**
N/A

Site 2 of 7 in cluster A

Relative:
Higher

Actual:
29 ft.

SPILLS:

Facility ID: 0804418
Facility Type: ER
DER Facility ID: 350574
Site ID: 401326
DEC Region: 4
Spill Date: 2008-07-17
Spill Number/Closed Date: 0804418 / 2008-07-18
Spill Cause: Deliberate
Spill Class: Known release that creates potential for fire or hazard. (Not Possible)

SWIS:

Investigator: WEBLAIN
Referred To: Not reported
Reported to Dept: 2008-07-17
CID: 406
Water Affected: Not reported
Spill Source: Commercial/Industrial
Spill Notifier: Local Agency
Cleanup Ceased: Not reported
Cleanup Meets Std: True
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: Not reported
Remediation Phase: 0
Date Entered In Computer: 2008-07-17
Spill Record Last Update: 2014-07-11
Spiller Name: BRUCE MALACHUK
Spiller Company: HILTON INDUSTRIAL PARK (OLD JELLIFF FACILITY)
Spiller Address: BLDG. 6 RM. 4
Spiller City,St,Zip: RENSELAER, NY
Spiller Company: 999
Contact Name: BRUCE MALACHUK
Contact Phone: (518) 209-9773
DEC Memo: "referred to Solid Waste. closed (PBS 4-443514; 8202013, 8602120, 8701013, 8806485, 9516418, 9901711, 0804418, 1300591)"

Remarks:

"Asbestos piping running throughout the building. Caller says Bruce Malachuk disposes of asbestos not according to code. Caller would like DEC to go to the location to investigate as soon as possible. William Mgloughlin cell 858-1898 or Dan Morre Building and Zoning administrator cell 788-5903"

Material:

Site ID: 401326
Operable Unit ID: 1158118
Operable Unit: 01
Material ID: 2149172
Material Code: 0026A
Material Name: asbestos
Case No.: 01332214
Material FA: Hazardous Material
Quantity: Not reported
Units: Gallons
Recovered: .00

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HILTON INDUSTRIAL PARK FORBES AVE (Continued)

S109206307

Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

B8

EDR Hist Auto 1015520690

**< 1/8
1 ft.**

**5 FORBES AVE
RENSSELAER, NY 12144**

N/A

Site 6 of 19 in cluster B

**Relative:
Lower**

EDR Historical Auto Stations:

Name: K & J MOBILE AUTO & TRUCK REPA
Year: 2007

**Actual:
27 ft.**

Address: 5 FORBES AVE

B9

EDR Hist Auto 1015467155

**< 1/8
1 ft.**

**4 FORBES AVE
RENSSELAER, NY 12144**

N/A

Site 7 of 19 in cluster B

**Relative:
Lower**

EDR Historical Auto Stations:

Name: RENSSELAER AUTO PARTS
Year: 2001

**Actual:
23 ft.**

Address: 4 FORBES AVE

Name: RENSSEALER AUTO PARTS
Year: 2007
Address: 4 FORBES AVE

Name: RENSSEALER AUTO PARTS
Year: 2008
Address: 4 FORBES AVE

Name: RENSSEALER AUTO PARTS
Year: 2009
Address: 4 FORBES AVE

Name: RENSSELAER AUTO PARTS
Year: 2010
Address: 4 FORBES AVE

B10

EDR Hist Auto 1015299196

**< 1/8
1 ft.**

**2 FORBES AVE
RENSSELAER, NY 12144**

N/A

Site 8 of 19 in cluster B

**Relative:
Lower**

EDR Historical Auto Stations:

Name: HARTS COLLISION INC
Year: 2008

**Actual:
23 ft.**

Address: 2 FORBES AVE

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

(Continued)

1015299196

Name: HARTS COLLISION INC
 Year: 2009
 Address: 2 FORBES AVE

Name: HARTS COLLISION INC
 Year: 2010
 Address: 2 FORBES AVE

A11

**AUSTIN GARAGE
 0 WASHINGTON AVE
 RENSSELAER, NY**

EDR Hist Auto

**1014930753
 N/A**

< 1/8
 1 ft.

Site 3 of 7 in cluster A

**Relative:
 Higher**

EDR Historical Auto Stations:

Name: AUSTIN GARAGE
 Year: 1960

**Actual:
 66 ft.**

Type: AUTOMOBILE GARAGES

B12

**JELLIFF FORBES RD (RPT'D AS CONRAIL)
 FORBES RD
 RENSSELAER, NY**

NY Spills

**S102242427
 N/A**

< 1/8
 1 ft.

Site 9 of 19 in cluster B

**Relative:
 Lower**

SPILLS:

Facility ID: 9516418
 Facility Type: ER
 DER Facility ID: 430988
 Site ID: 213130
 DEC Region: 4
 Spill Date: 1996-03-21
 Spill Number/Closed Date: 9516418 / 1996-03-21
 Spill Cause: Deliberate
 Spill Class: Known release that creates potential for fire or hazard. (Minimal Occurrence)

**Actual:
 27 ft.**

SWIS: 4214
 Investigator: WEBLAIN
 Referred To: Not reported
 Reported to Dept: 1996-03-21
 CID: 205
 Water Affected: Not reported
 Spill Source: Unknown
 Spill Notifier: Other
 Cleanup Ceased: 1996-03-21
 Cleanup Meets Std: True
 Last Inspection: 1996-03-21
 Recommended Penalty: False
 UST Trust: False
 Remediation Phase: 0
 Date Entered In Computer: 1996-03-21
 Spill Record Last Update: 2014-07-11
 Spiller Name: Not reported
 Spiller Company: UNK [JELLIFF, LATER HILTON IND PK]
 Spiller Address: Not reported
 Spiller City,St,Zip: ZZ

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF FORBES RD (RPT'D AS CONRAIL) (Continued)

S102242427

Spiller Company: 999
Contact Name: Not reported
Contact Phone: Not reported
DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was BLAIN NO INDICATION OF WHY ORIGINAL Rpt LISTED CONRAIL AS SPILL SITE. 15:30-BLAIN @ SITE W/EVANS (M&E) & JOHN LEWIS (JELLIFF Mgr), Insp FOUND FILM OF OIL ON SEPARATOR, NO DISCHARGE, NO FURTHER DEC ACTION. NO Mfg DONE @ PLANT LAST COUPLE YRS. 8202013, 8602120, 8701013, 8806485, 9516418, 9805964, 9901711, 0804418, 1300591. PBS 4-443514?"
Remarks: "caller states it looks like some one changed oil in car and dumped oil.oil in man hole, could go into hudson river."

Material:
Site ID: 213130
Operable Unit ID: 1027386
Operable Unit: 01
Material ID: 352932
Material Code: 0022
Material Name: waste oil/used oil
Case No.: Not reported
Material FA: Petroleum
Quantity: .00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

**B13 KET PRODUCTS FORBES AVE HUDSON RIVER
5 FORBES RD HUDSON RIVER
RENSELAER, NY**

**NY Spills S104496254
N/A**

< 1/8
1 ft.

Site 10 of 19 in cluster B

**Relative:
Lower**

SPILLS:
Facility ID: 8602120
Facility Type: ER
DER Facility ID: 189424
Site ID: 229826
DEC Region: 4
Spill Date: 1986-06-27
Spill Number/Closed Date: 8602120 / 1986-07-30
Spill Cause: Housekeeping
Spill Class: Known release that creates a file or hazard. DEC Response. Unknown Responsible Party. Corrective action taken. (ISR)
SWIS: 4214
Investigator: MCDONALD
Referred To: Not reported
Reported to Dept: 1986-06-28
CID: Not reported
Water Affected: HUDSON RIVER \$
Spill Source: Commercial/Industrial
Spill Notifier: DEC
Cleanup Ceased: 1986-07-30
Cleanup Meets Std: True
Last Inspection: Not reported

**Actual:
27 ft.**

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

KET PRODUCTS FORBES AVE HUDSON RIVER (Continued)

S104496254

Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 1986-07-16
Spill Record Last Update: 2014-07-11
Spiller Name: Not reported
Spiller Company: KET PRODUCTS (LATER JELLIFF?) (LATER HILTON IND PK)
Spiller Address: 54 FORBES RD
Spiller City,St,Zip: RENNELAER, NY
Spiller Company: 999
Contact Name: Not reported
Contact Phone: Not reported
DEC Memo: "See file for sketch & photos (edoc). (PBS 4-443514; 8202013, 8602120, 8701013, 8806485, 9516418, 9901711, 0804418, 1300591)"
Remarks: "OTHER MATL. SPILLED-HYDRAULIC OIL"

Material:

Site ID: 229826
Operable Unit ID: 899548
Operable Unit: 01
Material ID: 478575
Material Code: 0022
Material Name: waste oil/used oil
Case No.: Not reported
Material FA: Petroleum
Quantity: 1000.00
Units: Gallons
Recovered: 1000.00
Resource Affected: Not reported
Oxygenate: Not reported
Site ID: 229826
Operable Unit ID: 899548
Operable Unit: 01
Material ID: 478576
Material Code: 1552A
Material Name: quenching oil
Case No.: Not reported
Material FA: Petroleum
Quantity: .00
Units: Pounds
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

B14 **JELLIFF CORP.**
5 FORBES RD
RENSELAER, NY 12144
< 1/8
1 ft.

UST **U003076354**
AST **N/A**
HIST AST

Site 11 of 19 in cluster B

Relative: UST:
Lower Id/Status: 4-443514 / Unregulated/Closed
Program Type: PBS
Actual: Region: STATE
27 ft. DEC Region: 4

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP. (Continued)

U003076354

Expiration Date: N/A
UTM X: 603659.72226
UTM Y: 4723448.28133
Site Type: Manufacturing (Other than Chemical)/Processing

Affiliation Records:

Site Id: 36973
Affiliation Type: Facility Owner
Company Name: JELLIFF CORP.
Contact Type: Not reported
Contact Name: Not reported
Address1: 354 PEQUOT AVE.
Address2: Not reported
City: SOUTHPORT
State: CT
Zip Code: 06490
Country Code: 001
Phone: (518) 449-7090
EMail: Not reported
Fax Number: Not reported
Modified By: TRANSLAT
Date Last Modified: 2004-03-04

Site Id: 36973
Affiliation Type: Mail Contact
Company Name: JELLIFF CORP.
Contact Type: Not reported
Contact Name: MR. R.M. KELLY-PRESIDENT
Address1: 354 PEQUOT AVE.
Address2: P.O. BOX 758
City: SOUTHPORT
State: CT
Zip Code: 06490
Country Code: 001
Phone: (203) 259-1615
EMail: Not reported
Fax Number: Not reported
Modified By: TRANSLAT
Date Last Modified: 2004-03-04

Site Id: 36973
Affiliation Type: On-Site Operator
Company Name: JELLIFF CORP.
Contact Type: Not reported
Contact Name: JELLIFF CORP.
Address1: Not reported
Address2: Not reported
City: Not reported
State: NN
Zip Code: Not reported
Country Code: 001
Phone: (518) 449-7090
EMail: Not reported
Fax Number: Not reported
Modified By: TRANSLAT
Date Last Modified: 2004-03-04

Site Id: 36973

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP. (Continued)

U003076354

Affiliation Type: Emergency Contact
Company Name: JELLIFF CORP.
Contact Type: Not reported
Contact Name: JOHN LEWIS
Address1: Not reported
Address2: Not reported
City: Not reported
State: NN
Zip Code: Not reported
Country Code: 001
Phone: (518) 477-2337
EMail: Not reported
Fax Number: Not reported
Modified By: TRANSLAT
Date Last Modified: 2004-03-04

Tank Info:

Tank Number: 1
Tank ID: 91493
Tank Status: In Service
Material Name: In Service
Capacity Gallons: 550
Install Date: 12/01/1979
Date Tank Closed: Not reported
Registered: True
Tank Location: Underground
Tank Type: Steel/carbon steel
Material Code: 0001
Common Name of Substance: #2 Fuel Oil (On-Site Consumption)

Tightness Test Method: NN
Date Test: Not reported
Next Test Date: 10/11/2016
Pipe Model: Not reported
Modified By: TRANSLAT
Last Modified: 03/04/2004

Equipment Records:

L09 - Piping Leak Detection - Exempt Suction Piping
A00 - Tank Internal Protection - None
G00 - Tank Secondary Containment - None
J02 - Dispenser - Suction Dispenser
H00 - Tank Leak Detection - None
I04 - Overfill - Product Level Gauge (A/G)
C00 - Pipe Location - No Piping
D10 - Pipe Type - Copper
B00 - Tank External Protection - None
F00 - Pipe External Protection - None

AST:

Region: STATE
DEC Region: 4
Site Status: Unregulated/Closed
Facility Id: 4-443514
Program Type: PBS
UTM X: 603659.72226

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP. (Continued)

U003076354

UTM Y: 4723448.28133
Expiration Date: N/A
Site Type: Manufacturing (Other than Chemical)/Processing

Affiliation Records:

Site Id: 36973
Affiliation Type: Facility Owner
Company Name: JELLIFF CORP.
Contact Type: Not reported
Contact Name: Not reported
Address1: 354 PEQUOT AVE.
Address2: Not reported
City: SOUTHPORT
State: CT
Zip Code: 06490
Country Code: 001
Phone: (518) 449-7090
EMail: Not reported
Fax Number: Not reported
Modified By: TRANSLAT
Date Last Modified: 2004-03-04

Site Id: 36973
Affiliation Type: Mail Contact
Company Name: JELLIFF CORP.
Contact Type: Not reported
Contact Name: MR. R.M. KELLY-PRESIDENT
Address1: 354 PEQUOT AVE.
Address2: P.O. BOX 758
City: SOUTHPORT
State: CT
Zip Code: 06490
Country Code: 001
Phone: (203) 259-1615
EMail: Not reported
Fax Number: Not reported
Modified By: TRANSLAT
Date Last Modified: 2004-03-04

Site Id: 36973
Affiliation Type: On-Site Operator
Company Name: JELLIFF CORP.
Contact Type: Not reported
Contact Name: JELLIFF CORP.
Address1: Not reported
Address2: Not reported
City: Not reported
State: NN
Zip Code: Not reported
Country Code: 001
Phone: (518) 449-7090
EMail: Not reported
Fax Number: Not reported
Modified By: TRANSLAT
Date Last Modified: 2004-03-04

Site Id: 36973
Affiliation Type: Emergency Contact

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP. (Continued)

U003076354

Company Name: JELLIFF CORP.
Contact Type: Not reported
Contact Name: JOHN LEWIS
Address1: Not reported
Address2: Not reported
City: Not reported
State: NN
Zip Code: Not reported
Country Code: 001
Phone: (518) 477-2337
EMail: Not reported
Fax Number: Not reported
Modified By: TRANSLAT
Date Last Modified: 2004-03-04

Tank Info:

Tank Number: 2
Tank Id: 91494
Material Code: 0001
Common Name of Substance: #2 Fuel Oil (On-Site Consumption)

Equipment Records:

G00 - Tank Secondary Containment - None
A00 - Tank Internal Protection - None
J02 - Dispenser - Suction Dispenser
H00 - Tank Leak Detection - None
D10 - Pipe Type - Copper
I04 - Overfill - Product Level Gauge (A/G)
C00 - Pipe Location - No Piping
F00 - Pipe External Protection - None
B00 - Tank External Protection - None

Tank Location: 4
Tank Type: Steel/Carbon Steel/Iron
Tank Status: Closed - Removed
Pipe Model: Not reported
Install Date: 12/01/1982
Capacity Gallons: 1000
Tightness Test Method: NN
Date Test: Not reported
Next Test Date: Not reported
Date Tank Closed: 09/01/1993
Register: True
Modified By: TRANSLAT
Last Modified: 03/04/2004
Material Name: Not reported

Tank Number: 3
Tank Id: 91495
Material Code: 9999
Common Name of Substance: Other

Equipment Records:

G00 - Tank Secondary Containment - None
A00 - Tank Internal Protection - None

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP. (Continued)

U003076354

I00 - Overfill - None
D00 - Pipe Type - No Piping
H00 - Tank Leak Detection - None
C00 - Pipe Location - No Piping
J01 - Dispenser - Pressurized Dispenser
B00 - Tank External Protection - None
F00 - Pipe External Protection - None
Tank Location: 3
Tank Type: Steel/Carbon Steel/Iron
Tank Status: Closed - In Place
Pipe Model: Not reported
Install Date: Not reported
Capacity Gallons: 10000
Tightness Test Method: NN
Date Test: Not reported
Next Test Date: Not reported
Date Tank Closed: 01/01/1993
Register: True
Modified By: TRANSLAT
Last Modified: 03/04/2004
Material Name: Not reported

HIST AST:

PBS Number: 4-443514
SWIS Code: 3814
Operator: JELLIFF CORP.
Facility Phone: (518) 449-7090
Facility Addr2: Not reported
Facility Type: MANUFACTURING
Emergency: JOHN LEWIS
Emergency Tel: (518) 477-2337
Old PBSNO: Not reported
Date Inspected: Not reported
Inspector: Not reported
Result of Inspection: Not reported
Owner Name: JELLIFF CORP.
Owner Address: 354 PEQUOT AVE.
Owner City,St,Zip: SOUTHPORT, CT 06490
Federal ID: Not reported
Owner Tel: (518) 449-7090
Owner Type: Corporate/Commercial
Owner Subtype: Not reported
Mailing Contact: MR. R.M. KELLY-PRESIDENT
Mailing Name: JELLIFF CORP.
Mailing Address: 354 PEQUOT AVE.
Mailing Address 2: P.O. BOX 758
Mailing City,St,Zip: SOUTHPORT, CT 06490
Mailing Telephone: (203) 259-1615
Owner Mark: First Owner
Facility Status: 2 - Unregulated by PBS (the total capacity is less than 1,101 gallons) and Subpart 360-14.
Certification Flag: False
Certification Date: 07/01/1993
Expiration: 08/23/1998
Renew Flag: False
Renew Date: Not reported
Total Capacity: 550

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

JELLIFF CORP. (Continued)

U003076354

FAMT: True
 Facility Screen: No Missing Data
 Owner Screen: No Missing Data
 Tank Screen: Minor Data Missing
 Dead Letter: False
 CBS Number: Not reported
 Town or City: RENSSELAER (C)
 County Code: 38
 Town or City Code: 14
 Region: 4

Tank ID: 3
 Tank Location: ABOVEGROUND ON SADDLES LEGS, STILTS, RACK, OR CRADLE
 Tank Status: Closed-In Place
 Install Date: Not reported
 Capacity (Gal): 10000
 Product Stored: UNKNOWN
 Tank Type: Steel/carbon steel
 Tank Internal: Not reported
 Tank External: Not reported
 Pipe Location: Not reported
 Pipe Type: Not reported
 Pipe Internal: Not reported
 Pipe External: Not reported
 Tank Containment: None
 Leak Detection: 0
 Overfill Protection: Not reported
 Dispenser Method: Submersible
 Date Tested: Not reported
 Next Test Date: Not reported
 Missing Data for Tank: Minor Data Missing
 Date Closed: 01/01/1993
 Test Method: Not reported
 Deleted: False
 Updated: True
 SPDES Number: Not reported
 Lat/Long: Not reported

B15 **JELLIFF CORP**
5 FORBES RD
RENSSELAER, NY 12144

< 1/8
 1 ft.

Site 12 of 19 in cluster B

NY Spills **1000284881**
RCRA NonGen / NLR **NYD096932108**
FINDS
MANIFEST
ECHO

Relative: **SPILLS:**
Lower Facility ID: 8806485
 Facility Type: ER
Actual: DER Facility ID: 188726
27 ft. Site ID: 228893
 DEC Region: 4
 Spill Date: 1988-11-02
 Spill Number/Closed Date: 8806485 / 1995-10-20
 Spill Cause: Unknown
 Spill Class: Known release that creates potential for fire or hazard. DEC Response. Unable/unwilling Responsible Party. Corrective action taken. (ISR)

SWIS: 4214
 Investigator: ANGEISEN
 Referred To: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP (Continued)

1000284881

Reported to Dept: 1988-11-02
CID: Not reported
Water Affected: HUDSON RIVER \$
Spill Source: Commercial/Industrial
Spill Notifier: DEC
Cleanup Ceased: Not reported
Cleanup Meets Std: True
Last Inspection: 1996-09-09
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 1988-11-03
Spill Record Last Update: 2014-07-11
Spiller Name: Not reported
Spiller Company: THE C.O. JELLIFF CORP. (LATER HILTON IND PK)
Spiller Address: 5 FORBES RD
Spiller City,St,Zip: RENSSELAER, NY 12144
Spiller Company: 999
Contact Name: Not reported
Contact Phone: Not reported
DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was GEISENDORFER SEE FILE (THICK FOLDER, Edocs). PBS 4-443514; 8202013, 8602120, 8701013, 8806485, 9516418, 9805964, 9901711, 0804418, 1300591. tHERE EXISTS AN OLD 10K TANK ONSITE. IT WAS USED TO HOLD COTTONSEED OIL, AND ERRONEOUSLY ID'D AS A PBS TANK. NO OIL HAS EXITED THROUGH THEIR SPDES DISCHARGE POINT FOR FIVE OR MORE YEARS. PBS TANKS REMOVED."
Remarks: "HYDRAULIC OIL ENTERING HUDSON R. MCDONALD SPOT CHECKED, FOUND OIL IN STORM SEWER NEXT TO JELLIFF CORP.(KET). DOMERMUTH CONTRACTOR."

Material:
Site ID: 228893
Operable Unit ID: 921639
Operable Unit: 01
Material ID: 454822
Material Code: 0022
Material Name: waste oil/used oil
Case No.: Not reported
Material FA: Petroleum
Quantity: 300.00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

RCRA NonGen / NLR:
Date form received by agency: 01/01/2007
Facility name: JELLIFF CORP
Facility address: 5 FORBES RD
RENSSELAER, NY 121441619
EPA ID: NYD096932108
Mailing address: FORBES RD
RENSSELAER, NY 12144
Contact: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP (Continued)

1000284881

Contact address: FORBES RD
RENSSELAER, NY 12144
Contact country: US
Contact telephone: Not reported
Contact email: Not reported
EPA Region: 02
Land type: Facility is not located on Indian land. Additional information is not known.
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: JELLIFF CORPORATION
Owner/operator address: NOT REQUIRED
NOT REQUIRED, WY 99999
Owner/operator country: US
Owner/operator telephone: (212) 555-1212
Legal status: Municipal
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: JELLIFF CORPORATION
Owner/operator address: NOT REQUIRED
NOT REQUIRED, WY 99999
Owner/operator country: US
Owner/operator telephone: (212) 555-1212
Legal status: Municipal
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
Used oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 01/01/2006
Site name: JELLIFF CORP
Classification: Not a generator, verified

Date form received by agency: 07/08/1999
Site name: JELLIFF CORP
Classification: Not a generator, verified

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP (Continued)

1000284881

Date form received by agency: 11/04/1988
Site name: JELLIFF CORP
Classification: Large Quantity Generator

Waste code: D001
Waste name: IGNITABLE WASTE

Violation Status: No violations found

Evaluation Action Summary:

Evaluation date: 10/06/1994
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 04/29/1993
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

FINDS:

Registry ID: 110004376210

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

FIS (New York - Facility Information System) is New York's Department of Environmental Conservation (DEC) information system for tracking environmental facility information found across the State.

NY MANIFEST:

Country: USA
EPA ID: NYD096932108
Facility Status: Not reported
Location Address 1: 5 FORBES AVE
Code: BP
Location Address 2: Not reported
Total Tanks: Not reported
Location City: RENSSELAER
Location State: NY
Location Zip: 12144
Location Zip 4: 1619

NY MANIFEST:

EPAID: NYD096932108
Mailing Name: JELLIFF CORP
Mailing Contact: JOHN LEWIS
Mailing Address 1: 5 FORBES AVE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP (Continued)

1000284881

Mailing Address 2: Not reported
Mailing City: RENSSELAER
Mailing State: NY
Mailing Zip: 12144
Mailing Zip 4: 1619
Mailing Country: USA
Mailing Phone: 5184497091

NY MANIFEST:

Document ID: NJA1417274
Manifest Status: C
seq: Not reported
Year: 1992
Trans1 State ID: ILP60984
Trans2 State ID: NJDEPS869
Generator Ship Date: 12/10/1992
Trans1 Recv Date: 12/10/1992
Trans2 Recv Date: 12/14/1992
TSD Site Recv Date: 12/15/1992
Part A Recv Date: 12/22/1992
Part B Recv Date: 12/29/1992
Generator EPA ID: NYD096932108
Trans1 EPA ID: ILD051060408
Trans2 EPA ID: ILD051060408
TSD ID 1: NJD002182897
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: F001 - UNKNOWN
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 02925
Units: P - Pounds
Number of Containers: 005
Container Type: DM - Metal drums, barrels
Handling Method: B Incineration, heat recovery, burning.
Specific Gravity: 100

Document ID: VTA0036376
Manifest Status: K
seq: Not reported
Year: 1991
Trans1 State ID: A78001MA
Trans2 State ID: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP (Continued)

1000284881

Generator Ship Date: 12/13/1991
Trans1 Recv Date: 12/13/1991
Trans2 Recv Date: 12/17/1991
TSD Site Recv Date: 12/17/1991
Part A Recv Date: / /
Part B Recv Date: 01/08/1992
Generator EPA ID: NYD096932108
Trans1 EPA ID: MAD052924495
Trans2 EPA ID: Not reported
TSD ID 1: VTD982766537
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D001 - NON-LISTED IGNITABLE WASTES
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00055
Units: G - Gallons (liquids only)* (8.3 pounds)
Number of Containers: 001
Container Type: DM - Metal drums, barrels
Handling Method: T Chemical, physical, or biological treatment.
Specific Gravity: 100
Waste Code: D002 - NON-LISTED CORROSIVE WASTES
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00030
Units: G - Gallons (liquids only)* (8.3 pounds)
Number of Containers: 001
Container Type: DF - Fiberboard or plastic drums (glass)
Handling Method: T Chemical, physical, or biological treatment.
Specific Gravity: 100

Document ID: NJA1657411
Manifest Status: C
seq: Not reported
Year: 1993
Trans1 State ID: ILP39085
Trans2 State ID: NJDEPS869
Generator Ship Date: 05/07/1993
Trans1 Recv Date: 05/07/1993
Trans2 Recv Date: 05/10/1993
TSD Site Recv Date: 05/10/1993

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP (Continued)

1000284881

Part A Recv Date: 05/17/1993
Part B Recv Date: 05/21/1993
Generator EPA ID: NYD096932108
Trans1 EPA ID: ILD051060408
Trans2 EPA ID: ILD051060408
TSD ID 1: NJD002182897
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: F001 - UNKNOWN
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00263
Units: P - Pounds
Number of Containers: 001
Container Type: DM - Metal drums, barrels
Handling Method: R Material recovery of more than 75 percent of the total material.
Specific Gravity: 100

Document ID: MAG1277580
Manifest Status: K
seq: Not reported
Year: 1993
Trans1 State ID: 694632MA
Trans2 State ID: Not reported
Generator Ship Date: 02/05/1993
Trans1 Recv Date: 02/05/1993
Trans2 Recv Date: / /
TSD Site Recv Date: 02/17/1993
Part A Recv Date: 02/11/1993
Part B Recv Date: 03/15/1993
Generator EPA ID: NYD096932108
Trans1 EPA ID: MAD052924495
Trans2 EPA ID: Not reported
TSD ID 1: MAD052924495
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP (Continued)

1000284881

Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D001 - NON-LISTED IGNITABLE WASTES
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00273
Units: G - Gallons (liquids only)* (8.3 pounds)
Number of Containers: 001
Container Type: TT - Cargo tank, tank trucks
Handling Method: B Incineration, heat recovery, burning.
Specific Gravity: 100

Document ID: VTA0052846
Manifest Status: C
seq: Not reported
Year: 1993
Trans1 State ID: VT70A30
Trans2 State ID: Not reported
Generator Ship Date: 05/21/1993
Trans1 Recv Date: 05/21/1993
Trans2 Recv Date: / /
TSD Site Recv Date: 05/21/1993
Part A Recv Date: 06/02/1993
Part B Recv Date: 06/03/1993
Generator EPA ID: NYD096932108
Trans1 EPA ID: VTD982766537
Trans2 EPA ID: Not reported
TSDF ID 1: VTD982766537
TSDF ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D002 - NON-LISTED CORROSIVE WASTES
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00020
Units: G - Gallons (liquids only)* (8.3 pounds)
Number of Containers: 001
Container Type: DM - Metal drums, barrels
Handling Method: T Chemical, physical, or biological treatment.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP (Continued)

1000284881

Specific Gravity: 100
Waste Code: D002 - NON-LISTED CORROSIVE WASTES
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00110
Units: G - Gallons (liquids only)* (8.3 pounds)
Number of Containers: 002
Container Type: DM - Metal drums, barrels
Handling Method: T Chemical, physical, or biological treatment.
Specific Gravity: 100
Waste Code: D002 - NON-LISTED CORROSIVE WASTES
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00005
Units: G - Gallons (liquids only)* (8.3 pounds)
Number of Containers: 001
Container Type: DM - Metal drums, barrels
Handling Method: T Chemical, physical, or biological treatment.
Specific Gravity: 100

Document ID: VTA0055128
Manifest Status: C
seq: Not reported
Year: 1995
Trans1 State ID: VT70A30
Trans2 State ID: Not reported
Generator Ship Date: 12/14/1995
Trans1 Recv Date: 12/14/1995
Trans2 Recv Date: / /
TSD Site Recv Date: 12/15/1995
Part A Recv Date: 01/03/1996
Part B Recv Date: 01/04/1996
Generator EPA ID: NYD096932108
Trans1 EPA ID: VTD982766537
Trans2 EPA ID: Not reported
TSDF ID 1: VTD982766537
TSDF ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: F001 - UNKNOWN
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JELLIFF CORP (Continued)

1000284881

Waste Code: Not reported
Waste Code: Not reported
Quantity: 00055
Units: G - Gallons (liquids only)* (8.3 pounds)
Number of Containers: 001
Container Type: DM - Metal drums, barrels
Handling Method: T Chemical, physical, or biological treatment.
Specific Gravity: 100

ECHO:

Envid: 1000284881
Registry ID: 110004376210
DFR URL: http://echo.epa.gov/detailed_facility_report?fid=110004376210

A16
< 1/8
1 ft.

HILTON CENTER
20 FORBES AVE BLDG 1
RENSSELAER, NY 12144

RCRA-SQG 1016169722
FINDS NYR000201921
ECHO

Site 4 of 7 in cluster A

Relative:
Higher

RCRA-SQG:

Date form received by agency: 08/27/2013
Facility name: HILTON CENTER
Facility address: 20 FORBES AVE BLDG 1
RENSSELAER, NY 12144
EPA ID: NYR000201921
Mailing address: FORBES AVE BLDG 1
RENSSELAER, NY 12144
Contact: JEAN E FRANCOIS
Contact address: FORBES AVE BLDG 1
RENSSELAER, NY 12144
Contact country: US
Contact telephone: (518) 436-0820
Contact email: J-FRANCOIS@NYCAP.RR.COM
EPA Region: 02
Classification: Small Small Quantity Generator
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Actual:
47 ft.

Owner/Operator Summary:

Owner/operator name: HILTON MANAGEMENT LLC
Owner/operator address: Not reported
Not reported
Owner/operator country: US
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 05/25/2001
Owner/Op end date: Not reported

Owner/operator name: HILTON MANAGEMENT LLC
Owner/operator address: Not reported
Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HILTON CENTER (Continued)

1016169722

Owner/operator country: US
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 05/11/1993
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

. Waste code: F002
. Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Violation Status: No violations found

FINDS:

Registry ID: 110055945090

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

ECHO:

Envid: 1016169722
Registry ID: 110055945090
DFR URL: http://echo.epa.gov/detailed_facility_report?fid=110055945090

MAP FINDINGS

Map ID									
Direction									
Distance									
Elevation									
	Site				Database(s)			EDR ID Number	
								EPA ID Number	

A17	HILTON INDUSTRIAL BUILDING	ICIS	1006799388
	10 FORBES AVE	FINDS	N/A
< 1/8	ALBANY, NY 12144	ECHO	
1 ft.			

Site 5 of 7 in cluster A

Relative:	ICIS:	
Lower	Enforcement Action ID:	02-2002-1023
	FRS ID:	110013698891
Actual:	Action Name:	Op-Tech Environmental Services - Albany Branch Office
7 ft.	Facility Name:	HILTON INDUSTRIAL BUILDING
	Facility Address:	10 FORBES AVE
		ALBANY, NY 121441620
	Enforcement Action Type:	CAA 113A Admin Compliance Order (Non-Penalty)
	Facility County:	RENSSELAER
	Program System Acronym:	ICIS
	Enforcement Action Forum Desc:	Administrative - Formal
	EA Type Code:	113A
	Facility SIC Code:	Not reported
	Federal Facility ID:	Not reported
	Latitude in Decimal Degrees:	42.656883
	Longitude in Decimal Degrees:	-73.735233
	Permit Type Desc:	Not reported
	Program System Acronym:	2656627
	Facility NAICS Code:	Not reported
	Tribal Land Code:	Not reported
	Facility Name:	HILTON INDUSTRIAL BUILDING
	Address:	10 FORBES AVE
	Tribal Indicator:	N
	Fed Facility:	Not reported
	NAIC Code:	Not reported
	SIC Code:	Not reported

FINDS:

Registry ID: 110013698891

Environmental Interest/Information System

ICIS (Integrated Compliance Information System) is the Integrated Compliance Information System and provides a database that, when complete, will contain integrated Enforcement and Compliance information across most of EPA's programs. The vision for ICIS is to replace EPA's independent databases that contain Enforcement data with a single repository for that information. Currently, ICIS contains all Federal Administrative and Judicial enforcement actions. This information is maintained in ICIS by EPA in the Regional offices and it Headquarters. A future release of ICIS will replace the Permit Compliance System (PCS) which supports the NPDES and will integrate that information with Federal actions already in the system. ICIS also has the capability to track other activities occurring in the Region that support Compliance and Enforcement programs. These include; Incident Tracking, Compliance Assistance, and Compliance Monitoring.

ECHO:
Envid: 1006799388

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

HILTON INDUSTRIAL BUILDING (Continued)

1006799388

Registry ID: 110013698891
 DFR URL: http://echo.epa.gov/detailed_facility_report?fid=110013698891

A18

 < 1/8
 1 ft.

**ARTHUR HILTON PROPERTY FORBES AVE
 20 FORBES AVENUE
 RENSSELAER, NY**

**NY Spills S113493200
 N/A**

Site 6 of 7 in cluster A

**Relative:
 Higher**

**Actual:
 47 ft.**

SPILLS:

Facility ID: 1300591
 Facility Type: ER
 DER Facility ID: 436202
 Site ID: 480924
 DEC Region: 4
 Spill Date: 2013-04-15
 Spill Number/Closed Date: 1300591 / 2016-06-14
 Spill Cause: Housekeeping
 Spill Class: Known release that creates potential for fire or hazard. DEC Response. Unable/unwilling Responsible Party. Corrective action taken. (ISR)

SWIS:

Investigator: JDUTBERG
 Referred To: Not reported
 Reported to Dept: 2013-04-18
 CID: Not reported
 Water Affected: Not reported
 Spill Source: Commercial/Industrial
 Spill Notifier: Local Agency
 Cleanup Ceased: Not reported
 Cleanup Meets Std: False
 Last Inspection: Not reported
 Recommended Penalty: False
 UST Trust: Not reported
 Remediation Phase: 0
 Date Entered In Computer: 2013-04-18
 Spill Record Last Update: 2016-06-14
 Spiller Name: Not reported
 Spiller Company: arthur hilton
 Spiller Address: Not reported
 Spiller City,St,Zip: NY
 Spiller Company: 999
 Contact Name: DAN MOORE
 Contact Phone: (518) 788-5903

DEC Memo:

"4/26/13 JDU on site with City of Rensselaer Code Enforcement Personnel. Large area at north end of building that appears to be a dump site where debris has been buried. Large amounts of other debris and used tires inside the building. Pictures and info forwarded to solid waste. Several drums inside the building. Facility rep. claimed that they had hired a company out of syracuse to characterize lable and dispose of drums. The majority of the drums had been labled a this point. Underground tank located on the south end of the buildings. Stuck the tank and found aproximately 2' of product in the tank. Product resembled and appears to be heating oil. Large vaults under builing appear to be designed for water flow under the building. It is believed that the vaults discharge to the hudson. Uncertain if floor drains throughout the building are tied into the vaults or where they discharge to. Structure of the building is coated with what might be an asbestos material. Unidentified material

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

ARTHUR HILTON PROPERTY FORBES AVE (Continued)

S113493200

is flaking off the building and piling up on the floors throughout. E-mail recieved from Will O'leary who is City of Rens. Code enforcement. What appears to be another underground and a waste oil tank and burner were found on site. Pictures were attached and in edocs. Searched PBS records and the facility has never been registered. 5/15/13 E-mail sent to Will O'leary to try to get site access so that the oil tanks could be observed to determine if PBS registration was needed. Solid waste was also going to accompany us to the site. Site access was not granted. JDU 6/14/16 No further complaints from Code enforcement or other agencies. No evidence of any petroleum impacts to the environment or any other spills. Closed. JDU"

Remarks: "The City obtained court ordered access to inspect this site for code violations. During their inspection, several leaking 55 gallon drums were observed. The City would like the DEC to provide guidance on how to handle these drums."

Material:
 Site ID: 480924
 Operable Unit ID: 1230707
 Operable Unit: 01
 Material ID: 2229398
 Material Code: 0064A
 Material Name: unknown material
 Case No.: Not reported
 Material FA: Other
 Quantity: Not reported
 Units: Not reported
 Recovered: Not reported
 Resource Affected: Not reported
 Oxygenate: Not reported

Tank Test:

**B19 HANNANS WASTE TRACY ST
 6 TRACY ST
 RENSSELAER, NY**

**NY Spills S107787665
 N/A**

< 1/8
 1 ft.

Site 13 of 19 in cluster B

**Relative:
 Higher**

SPILLS:
 Facility ID: 0600978
 Facility Type: ER
 DER Facility ID: 313298
 Site ID: 363103
 DEC Region: 4
 Spill Date: 2006-04-25
 Spill Number/Closed Date: 0600978 / 2006-10-13
 Spill Cause: Equipment Failure
 Spill Class: Known release that creates potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.

**Actual:
 28 ft.**

SWIS: 4214
 Investigator: WEBLAIN
 Referred To: Not reported
 Reported to Dept: 2006-04-25
 CID: 408
 Water Affected: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HANNANS WASTE TRACY ST (Continued)

S107787665

Spill Source: Commercial/Industrial
Spill Notifier: Other
Cleanup Ceased: Not reported
Cleanup Meets Std: True
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 2006-04-25
Spill Record Last Update: 2012-05-22
Spiller Name: JAY HANNAN
Spiller Company: HANNANS SHOP
Spiller Address: 6 TRACY STREET
Spiller City,St,Zip: RENNELAER, NY
Spiller Company: 999
Contact Name: JAY HANNAN
Contact Phone: (518) 689-1070
DEC Memo: "4/25 Bill C. onsite. OP-Tech also present; spiller hired to do the cleanup. call Joe Bujack for update. Spill easily cleaned. closed"
Remarks: "hose broke on a storage tank, absorbant pads and speedy dry are down right now."

Material:

Site ID: 363103
Operable Unit ID: 1121170
Operable Unit: 01
Material ID: 2110660
Material Code: 0008
Material Name: diesel
Case No.: Not reported
Material FA: Petroleum
Quantity: 10.00
Units: Gallons
Recovered: 9.00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

B20 CITY OF RENNELAER
6 TRACY ST
RENNELAER, NY 12144
< 1/8
1 ft.

FINDS 1008902542
ECHO N/A

Site 14 of 19 in cluster B

Relative:
Higher

FINDS:

Registry ID: 110022817567

Actual:
28 ft.

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CITY OF RENSSELAER (Continued)

1008902542

ECHO:

Envid: 1008902542
Registry ID: 110022817567
DFR URL: http://echo.epa.gov/detailed_facility_report?fid=110022817567

B21

**CITY OF RENSSELAER
6 TRACY ST
RENSSELAER, NY 12144**

RCRA NonGen / NLR

**1008404412
NYR000133991**

**< 1/8
1 ft.**

Site 15 of 19 in cluster B

**Relative:
Higher**

RCRA NonGen / NLR:

Date form received by agency: 10/02/2007
Facility name: CITY OF RENSSELAER
Facility address: 6 TRACY ST
RENSSELAER, NY 12144
EPA ID: NYR000133991
Mailing address: PO BOX 306
WYNANTSKILL, NY 12198
Contact: JAY H HANNAN
Contact address: PO BOX 306
WYNANTSKILL, NY 12198
Contact country: US
Contact telephone: (518) 469-9617
Contact email: Not reported
EPA Region: 02
Land type: Municipal
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

**Actual:
28 ft.**

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: Yes
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 10/01/2007
Site name: CITY OF RENSSELAER
Classification: Not a generator, verified

Date form received by agency: 01/01/2006
Site name: HANNANS WASTE DISPOSAL LLC
Classification: Not a generator, verified

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CITY OF RENSSELAER (Continued)

1008404412

Date form received by agency: 08/29/2005
Site name: HANNANS WASTE DISPOSAL LLC
Classification: Not a generator, verified

Facility Has Received Notices of Violations:

Regulation violated: Not reported
Area of violation: Listing - General
Date violation determined: 08/20/2007
Date achieved compliance: 07/14/2008
Violation lead agency: State
Enforcement action: INITIAL 3008(A) COMPLIANCE
Enforcement action date: 10/30/2007
Enf. disposition status: Dropped
Enf. disp. status date: 07/14/2008
Enforcement lead agency: State
Proposed penalty amount: 500
Final penalty amount: Not reported
Paid penalty amount: Not reported

Evaluation Action Summary:

Evaluation date: 07/14/2008
Evaluation: NOT A SIGNIFICANT NON-COMPLIER
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 08/21/2007
Evaluation: SIGNIFICANT NON-COMPLIER
Area of violation: Listing - General
Date achieved compliance: 07/14/2008
Evaluation lead agency: State

Evaluation date: 08/20/2007
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Listing - General
Date achieved compliance: 07/14/2008
Evaluation lead agency: State

B22 1523-1549 BROADWAY
SSW 1523-1549 BROADWAY
< 1/8 RENSSELAER, NY 12144
0.002 mi.
13 ft. **Site 16 of 19 in cluster B**

US BROWNFIELDS 1016447302
FINDS N/A

Relative:
Higher

US BROWNFIELDS:
Recipient name: Rensselaer, City of
Grant type: Assessment
Actual: Property name: 1523-1549 BROADWAY
38 ft. Property #: 133.77-9-2
Parcel size: .42
Property Description: Not reported
Latitude: 42.6560376
Longitude: -73.73467260000001
HCM label: Address Matching-House Number
Map scale: Not reported
Point of reference: Entrance Point of a Facility or Station
Datum: North American Datum of 1983
ACRES property ID: 153982

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1523-1549 BROADWAY (Continued)

1016447302

Start date: Not reported
Completed date: Not reported
Acres cleaned up: Not reported
Cleanup funding: Not reported
Cleanup funding source: Not reported
Assessment funding: 3000
Assessment funding source: US EPA - Brownfields Assessment Cooperative Agreement
Redevelopment funding: Not reported
Redev. funding source: Not reported
Redev. funding entity name: Not reported
Redevelopment start date: Not reported
Assessment funding entity: EPA
Cleanup funding entity: Not reported
Grant type: Hazardous
Accomplishment type: Phase I Environmental Assessment
Accomplishment count: 1
Cooperative agreement #: 97249507
Ownership entity: Government
Current owner: City of Rensselaer
Did owner change: N
Cleanup required: Unknown
Video available: Not reported
Photo available: Yes
Institutional controls required: U
IC Category proprietary controls: Not reported
IC cat. info. devices: Not reported
IC cat. gov. controls: Not reported
IC cat. enforcement permit tools: Not reported
IC in place date: Not reported
IC in place: Not reported
State/tribal program date: Not reported
State/tribal program ID: Not reported
State/tribal NFA date: Not reported
Air contaminated: Not reported
Air cleaned: Not reported
Asbestos found: Not reported
Asbestos cleaned: Not reported
Controlled substance found: Not reported
Controlled substance cleaned: Not reported
Drinking water affected: Not reported
Drinking water cleaned: Not reported
Groundwater affected: Not reported
Groundwater cleaned: Not reported
Lead contaminant found: Not reported
Lead cleaned up: Not reported
No media affected: Not reported
Unknown media affected: Not reported
Other cleaned up: Not reported
Other metals found: Not reported
Other metals cleaned: Not reported
Other contaminants found: Not reported
Other contaminants found description: Not reported
PAHs found: Not reported
PAHs cleaned up: Not reported
PCBs found: Not reported
PCBs cleaned up: Not reported
Petro products found: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1523-1549 BROADWAY (Continued)

1016447302

Petro products cleaned:	Not reported
Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Not reported
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Not reported
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	Not reported
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported
Future use commercial acreage:	Not reported
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported
Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported
Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported
Selenium cleaned up:	Not reported
SVOCs cleaned up:	Not reported
Unknown clean up:	Not reported
Arsenic contaminant found:	Not reported
Cadmium contaminant found:	Not reported
Chromium contaminant found:	Not reported
Copper contaminant found:	Not reported
Iron contaminant found:	Not reported
Mercury contaminant found:	Not reported
Nickel contaminant found:	Not reported
No contaminant found:	Not reported
Pesticides contaminant found:	Not reported
Selenium contaminant found:	Not reported
SVOCs contaminant found:	Not reported
Unknown contaminant found:	Not reported
Future Use: Multistory	Not reported
Media affected Bluiding Material:	Not reported
Media affected indoor air:	Not reported
Building material media cleaned up:	Not reported
Indoor air media cleaned up:	Not reported
Unknown media cleaned up:	Not reported
Past Use: Multistory	Not reported
Highlights:	Not reported
IC Data Address:	Not reported
Redev Completition Date:	Not reported
# Below Poverty:	467
% Below Poverty:	6.0%
# Low Income:	1152

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1523-1549 BROADWAY (Continued)

1016447302

% Low Income: 2.5%
Median Income: 29895
Unemployed: 110
% Unemployed: 25.6%
Vacant Housing: 103
% Vacant Housing: 27.4%

FINDS:

Registry ID: 110056252950

Environmental Interest/Information System
US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES)
is an federal online database for Brownfields Grantees to
electronically submit data directly to EPA.

**C23
NE
< 1/8
0.012 mi.
61 ft.**

**FORBES AVE PUMP STATION
FORBES AVE
RENSSELAER, NY 12144
Site 1 of 2 in cluster C**

**UST U001844939
N/A**

**Relative:
Lower**

UST:
Id/Status: 4-050245 / Active
Program Type: PBS
Region: STATE
DEC Region: 4
Expiration Date: 11/14/2021
UTM X: 603634.95284
UTM Y: 4723426.15119
Site Type: Other

**Actual:
26 ft.**

Affiliation Records:
Site Id: 35207
Affiliation Type: Emergency Contact
Company Name: RENSSELAER COUNTY SEWER DIST 1
Contact Type: Not reported
Contact Name: OPERATIONS PERSONNEL
Address1: Not reported
Address2: Not reported
City: Not reported
State: NN
Zip Code: Not reported
Country Code: 999
Phone: (518) 283-4577
EMail: Not reported
Fax Number: Not reported
Modified By: rjschowe
Date Last Modified: 2004-05-17

Site Id: 35207
Affiliation Type: On-Site Operator
Company Name: FORBES AVE PUMP STATION
Contact Type: Not reported
Contact Name: RENSSELAER COUNTY SEWER DIST 1
Address1: Not reported
Address2: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FORBES AVE PUMP STATION (Continued)

U001844939

City: Not reported
State: NY
Zip Code: Not reported
Country Code: 001
Phone: (518) 283-4577
EMail: Not reported
Fax Number: Not reported
Modified By: rjschowe
Date Last Modified: 2004-05-17

Site Id: 35207
Affiliation Type: Facility Owner
Company Name: RENSSELAER COUNTY SEWER DIST 1
Contact Type: DIRECTOR OF OPERATIONS AND MAINTENANCE
Contact Name: JASON WHEELER
Address1: COUNTY OFFICE BLDG 1600 7TH AV
Address2: Not reported
City: TROY
State: NY
Zip Code: 12180
Country Code: 001
Phone: (518) 283-2235
EMail: JWHEELER@RENSCO.COM
Fax Number: Not reported
Modified By: JDUTBERG
Date Last Modified: 2016-01-12

Site Id: 35207
Affiliation Type: Mail Contact
Company Name: RENSSELAER COUNTY SEWER DIST 1
Contact Type: DIRECTOR OF OPERATIONS AND MAINTENANCE
Contact Name: JASON WHEELER
Address1: COUNTY OFFICE BLDG 1600 7TH AV
Address2: Not reported
City: TROY
State: NY
Zip Code: 12180
Country Code: 001
Phone: (518) 283-2235
EMail: JWHEELER@RENSCO.COM
Fax Number: Not reported
Modified By: JDUTBERG
Date Last Modified: 2016-01-12

Tank Info:

Tank Number: 001
Tank ID: 97715
Tank Status: In Service
Material Name: In Service
Capacity Gallons: 2000
Install Date: 08/01/1998
Date Tank Closed: Not reported
Registered: True
Tank Location: Underground
Tank Type: Fiberglass coated steel
Material Code: 0001

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FORBES AVE PUMP STATION (Continued)

U001844939

Common Name of Substance: #2 Fuel Oil (On-Site Consumption)

Tightness Test Method: NN
Date Test: Not reported
Next Test Date: Not reported
Pipe Model: Not reported
Modified By: DJWEHN
Last Modified: 10/28/2016

Equipment Records:

J02 - Dispenser - Suction Dispenser
F05 - Pipe External Protection - Jacketed
G04 - Tank Secondary Containment - Double-Walled (Underground)
I01 - Overfill - Float Vent Valve
I02 - Overfill - High Level Alarm
L09 - Piping Leak Detection - Exempt Suction Piping
C03 - Pipe Location - Aboveground/Underground Combination
H01 - Tank Leak Detection - Interstitial - Electronic Monitoring
B04 - Tank External Protection - Fiberglass
D08 - Pipe Type - Equivalent Technology
A99 - Tank Internal Protection - Other

Tank Number: 1
Tank ID: 85511
Tank Status: Closed - Removed
Material Name: Closed - Removed
Capacity Gallons: 3000
Install Date: 01/01/1976
Date Tank Closed: 08/01/1998
Registered: True
Tank Location: Underground
Tank Type: Steel/carbon steel
Material Code: 0001
Common Name of Substance: #2 Fuel Oil (On-Site Consumption)

Tightness Test Method: 03
Date Test: 06/01/1992
Next Test Date: Not reported
Pipe Model: Not reported
Modified By: TRANSLAT
Last Modified: 03/04/2004

Equipment Records:

B01 - Tank External Protection - Painted/Asphalt Coating
H00 - Tank Leak Detection - None
A00 - Tank Internal Protection - None
G00 - Tank Secondary Containment - None
D01 - Pipe Type - Steel/Carbon Steel/Iron
J02 - Dispenser - Suction Dispenser
C00 - Pipe Location - No Piping
I04 - Overfill - Product Level Gauge (A/G)
F00 - Pipe External Protection - None

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

B24
SW
< 1/8
0.018 mi.
95 ft.

HUDSON RIVER TRACY, CENTRAL
TRACY ST, CENTRAL AVE HUDSON RIVER
RENSSELAER, NY

NY Spills **S104496582**
N/A

Site 17 of 19 in cluster B

Relative:
Lower

SPILLS:

Actual:
0 ft.

Facility ID: 9201540
 Facility Type: ER
 DER Facility ID: 77194
 Site ID: 83907
 DEC Region: 4
 Spill Date: 1992-05-05
 Spill Number/Closed Date: 9201540 / 1992-05-12
 Spill Cause: Unknown
 Spill Class: Known release that creates a file or hazard. (Minimal Occurrence)
 SWIS: 4214
 Investigator: WEBLAIN
 Referred To: Not reported
 Reported to Dept: 1992-05-07
 CID: Not reported
 Water Affected: HUDSON RIVER
 Spill Source: Unknown
 Spill Notifier: Citizen
 Cleanup Ceased: 1992-05-07
 Cleanup Meets Std: True
 Last Inspection: 1992-05-07
 Recommended Penalty: False
 UST Trust: False
 Remediation Phase: 0
 Date Entered In Computer: 1992-05-12
 Spill Record Last Update: 2012-05-22
 Spiller Name: Not reported
 Spiller Company: UNKNOWN
 Spiller Address: Not reported
 Spiller City,St,Zip: ***UPDATE***, ZZ
 Spiller Company: 999
 Contact Name: Not reported
 Contact Phone: Not reported
 DEC Memo:

"Prior to Sept, 2004 data translation this spill Lead_DEC Field was BLAIN/SOL WASTE 09/28/95: This is additional information about material spilled from the translation of the old spill file: TRASH & SEWAGE 16:30-BLAIN ON SITE, CKD OLD BARNETT FACTORY, JELLIFF, POLSINELLO, RSD PUMP STATION, RR TRACKS - LOTS OF TRASH, HEAVY SEWAGE OVEFLOW, NO OIL. REFD TO SOLID WASTE, ETC."

Remarks: "wash. to b'way to tracey (west) - 1 block - turn rt. central old barnett factory 1/2 block to polsinello tanks"

Material:

Site ID: 83907
 Operable Unit ID: 968816
 Operable Unit: 01
 Material ID: 412845
 Material Code: 0062A
 Material Name: raw sewage
 Case No.: Not reported
 Material FA: Other
 Quantity: .00
 Units: Gallons
 Recovered: .00

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER TRACY, CENTRAL (Continued)

S104496582

Resource Affected: Not reported
Oxygenate: Not reported
Site ID: 83907
Operable Unit ID: 968816
Operable Unit: 01
Material ID: 412844
Material Code: 0051A
Material Name: garbage
Case No.: Not reported
Material FA: Other
Quantity: .00
Units: Pounds
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

C25
ENE
< 1/8
0.027 mi.
140 ft.

BARNETT MILLS FORBES AVE OLD JELLIFF FACILITY
FORBES AVE
RENSSELAER, NY
Site 2 of 2 in cluster C

NY Spills S103937264
N/A

Relative:
Higher

SPILLS:
Facility ID: 9901711
Facility Type: ER
DER Facility ID: 130694
Site ID: 154106
DEC Region: 4
Spill Date: 1999-05-10
Spill Number/Closed Date: 9901711 / 1999-05-14
Spill Cause: Deliberate
Spill Class: Known release with minimal potential for fire or hazard. No DEC Response. No corrective action required.

Actual:
37 ft.

SWIS:
Investigator: WEBLAIN
Referred To: Not reported
Reported to Dept: 1999-05-13
CID: 384
Water Affected: Not reported
Spill Source: Passenger Vehicle
Spill Notifier: Citizen
Cleanup Ceased: Not reported
Cleanup Meets Std: True
Last Inspection: 1999-05-14
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 1999-05-13
Spill Record Last Update: 2014-07-11
Spiller Name: Not reported
Spiller Company: UNK AUTO REPAIR SHOP OLD JELLIFF FACIL, LATER HILTON IND PK
Spiller Address: Not reported
Spiller City,St,Zip: NY
Spiller Company: 999

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BARNETT MILLS FORBES AVE OLD JELLIFF FACILITY (Continued)

S103937264

Contact Name: Not reported
Contact Phone: Not reported
DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was BLAIN 16:56-17:02 - REC'd Rpt OF OIL ON GROUND; 5/14, am - REF'd TO BLAIN, ~11:00 WEB & PNB @ SITE, OLD JELLIFF FACILITY, AUTO REPAIR SHOP @ FAR END OF SITE, NO SIGN OF OIL ON GROUND, CK'd AREA BACK TO BOAT LAUNCH, NO PROBLEM NOTED. 8202013, 8602120, 8701013, 8806485, 9516418, 9805964, 0804418, 1300591. PBS 4-443514"
Remarks: "CALLER STATES UNKNOWN PERSONS ARE CUTTING UP CARS AND LETTING ANY WASTE OIL IN CAR DRAIN ONTO THE GROUND AND IS NOT CLEANING IT UP. TO GET TO THE AREA WHERE THIS IS HAPPENING - TURN ON TRACY ST - TAKE RIGHT AT BOTTOM OF HILL - BEAR LEFT WHERE ROAD V'S - AS YOU SEE BUILDING BEAR LEFT AND GO PARRELEL TO RAILROAD TRACKS TO END OF BUILDING."
Material:
Site ID: 154106
Operable Unit ID: 1080478
Operable Unit: 01
Material ID: 305242
Material Code: 0022
Material Name: waste oil/used oil
Case No.: Not reported
Material FA: Petroleum
Quantity: .00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

A26
SE
< 1/8
0.028 mi.
148 ft.

**STEPHAN RES BELLVIEW TERR
50 BELLVIEW TERR
RENSSELAER, NY**
Site 7 of 7 in cluster A

**NY Spills S108129444
N/A**

**Relative:
Higher**

SPILLS:
Facility ID: 0604935
Facility Type: ER
DER Facility ID: 317983
Site ID: 368021
DEC Region: 4
Spill Date: 2006-07-31
Spill Number/Closed Date: 0604935 / 2006-08-02
Spill Cause: Unknown
Spill Class: Known release with minimal potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.
SWIS: 4214
Investigator: weblain
Referred To: Not reported
Reported to Dept: 2006-07-31
CID: 409
Water Affected: Not reported
Spill Source: Unknown
Spill Notifier: Other

**Actual:
90 ft.**

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

STEPHAN RES BELLVIEW TERR (Continued)

S108129444

Cleanup Ceased: Not reported
Cleanup Meets Std: True
Last Inspection: Not reported
Recommended Penalty: Not reported
UST Trust: Not reported
Remediation Phase: 0
Date Entered In Computer: 2006-07-31
Spill Record Last Update: 2007-03-20
Spiller Name: UNKNOWN
Spiller Company: UNKNOWN] STEPHAN
Spiller Address: UNKNOWN
Spiller City,St,Zip: UNKNOWN, ZZ
Spiller Company: 999
Contact Name: RICHARD STEPHAN
Contact Phone: (518) 465-2094
DEC Memo: "blain telecon Stephan. Heat expansion caused oil to expand out of fillpipe. Checked for water in tank. Found none."
Remarks: "CLEAN UP IN PROCESS. UNDERGROUND TANK THAT IS LEAKING AND THE OIL GOT INTO THE GARDENS."

Material:
Site ID: 368021
Operable Unit ID: 1125913
Operable Unit: 01
Material ID: 2115438
Material Code: 0001A
Material Name: #2 fuel oil
Case No.: Not reported
Material FA: Petroleum
Quantity: 2.00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

B27
SSW
< 1/8
0.029 mi.
154 ft.

JOHN JOSEPHS DRY CINS
1548 BROADWAY ST
RENSSELAER, NY
Site 18 of 19 in cluster B

EDR Hist Cleaner **1014928864**
N/A

Relative:
Higher

EDR Historical Cleaners:
Name: JOHN JOSEPHS DRY
Year: 1960
Type: CLEANERS AND DYERS

Actual:
51 ft.

Name: JOHN JOSEPHS DRY CINS
Year: 1965
Type: CLEANERS AND DYERS

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

28
NNE
< 1/8
0.040 mi.
211 ft.

ALBANY DPW C&D LANDFILL
EAST OF CONNER BLVD AT OLD LF
ALBANY, NY 12204

SWF/LF **S107668051**
N/A

Relative:
Lower

SWF/LF:
 Flag: INACTIVE
 Region Code: 4
 Phone Number: Not reported
 Owner Name: City of Albany
 Owner Type: Municipal
 Owner Address: One Conners Blvd
 Owner Addr2: Not reported
 Owner City,St,Zip: Albany, NY 12204
 Owner Email: Not reported
 Owner Phone: Not reported
 Contact Name: Joe Giebelhaus
 Contact Address: 525 Rapp Road
 Contact Addr2: Not reported
 Contact City,St,Zip: Albany, NY 12205
 Contact Email: Not reported
 Contact Phone: 5188693651
 Activity Desc: Landfill - construction and demolition debris
 Activity Number: [01D02]
 Active: No
 East Coordinate: 604033
 North Coordinate: 4724224
 Accuracy Code: Not reported
 Regulatory Status: None
 Waste Type: Clean Fill
 Authorization #: Not reported
 Authorization Date: Not reported
 Expiration Date: Not reported

29
NE
< 1/8
0.051 mi.
267 ft.

KET PRODUCTS FORBES RD HUDSON RIVER
FORBES RD HUDSON RIVER
RENSSELAER, NY

NY Spills **S102156793**
N/A

Relative:
Lower

SPILLS:
 Facility ID: 8202013
 Facility Type: ER
 DER Facility ID: 168859
 Site ID: 203025
 DEC Region: 4
 Spill Date: 1983-03-02
 Spill Number/Closed Date: 8202013 / 1995-04-03
 Spill Cause: Equipment Failure
 Spill Class: Known release that creates potential for fire or hazard. DEC Response.
 Unknown Responsible Party. Corrective action taken. (ISR)
 SWIS: 4214
 Investigator: KING
 Referred To: Not reported
 Reported to Dept: 1983-03-02
 CID: Not reported
 Water Affected: HUDSON RIVER \$
 Spill Source: Commercial/Industrial
 Spill Notifier: Federal Government

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

KET PRODUCTS FORBES RD HUDSON RIVER (Continued)

S102156793

Cleanup Ceased: 1983-05-15
Cleanup Meets Std: True
Last Inspection: Not reported
Recommended Penalty: True
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 1987-02-16
Spill Record Last Update: 2016-06-03
Spiller Name: Not reported
Spiller Company: KET PRODUCTS (LATER JELLIFF?) (LATER HILTON IND PK)
Spiller Address: 54 FORBES RD
Spiller City,St,Zip: RENSSELAER, NY 12144
Spiller Company: 999
Contact Name: Not reported
Contact Phone: Not reported
DEC Memo: "See Edocs & 8602120 (& Jelliff's - PBS 4-443514; 8202013, 8701013, 8806485, 9516418, 9901711, 0804418, 1300591)"
Remarks: "KET SLOPPY HOUSEKEEPING & LEAKING EQ, OIL TO STORM SEWER & RIVER. see Edocs"

Material:
Site ID: 203025
Operable Unit ID: 893292
Operable Unit: 01
Material ID: 484523
Material Code: 0022
Material Name: waste oil/used oil
Case No.: Not reported
Material FA: Petroleum
Quantity: 100.00
Units: Gallons
Recovered: 90.00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

B30
South
< 1/8
0.059 mi.
311 ft.

PATRIOTS LANDING
TRACY STREET
RENSSELAER, NY 12144

FINDS 1007811722
N/A

Site 19 of 19 in cluster B

Relative:
Higher

FINDS:

Registry ID: 110019742625

Actual:
77 ft.

Environmental Interest/Information System

FIS (New York - Facility Information System) is New York's Department of Environmental Conservation (DEC) information system for tracking environmental facility information found across the State.

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

D31
SSE
 < 1/8
 0.066 mi.
 348 ft.

38 WASHINGTON AVENUE
38 WASHINGTON AVENUE
RENSSELAER, NY 12144

US BROWNFIELDS

1016951901
N/A

Site 1 of 6 in cluster D

Relative:
Higher

US BROWNFIELDS:

Actual:
109 ft.

Recipient name:	Rensselaer, City of
Grant type:	Assessment
Property name:	38 WASHINGTON AVENUE
Property #:	133.78-1-5
Parcel size:	.05
Property Description:	Residential property
Latitude:	42.657359
Longitude:	-73.73205899999999
HCM label:	Address Matching-House Number
Map scale:	Not reported
Point of reference:	Entrance Point of a Facility or Station
Datum:	North American Datum of 1983
ACRES property ID:	176783
Start date:	Not reported
Completed date:	Not reported
Acres cleaned up:	Not reported
Cleanup funding:	Not reported
Cleanup funding source:	Not reported
Assessment funding:	7000
Assessment funding source:	US EPA - Brownfields Assessment Cooperative Agreement
Redevelopment funding:	Not reported
Redev. funding source:	Not reported
Redev. funding entity name:	Not reported
Redevelopment start date:	Not reported
Assessment funding entity:	EPA
Cleanup funding entity:	Not reported
Grant type:	Petroleum
Accomplishment type:	Phase I Environmental Assessment
Accomplishment count:	1
Cooperative agreement #:	97249407
Ownership entity:	Not reported
Current owner:	Not reported
Did owner change:	Not reported
Cleanup required:	Unknown
Video available:	Not reported
Photo available:	Not reported
Institutional controls required:	U
IC Category proprietary controls:	Not reported
IC cat. info. devices:	Not reported
IC cat. gov. controls:	Not reported
IC cat. enforcement permit tools:	Not reported
IC in place date:	Not reported
IC in place:	Not reported
State/tribal program date:	Not reported
State/tribal program ID:	Not reported
State/tribal NFA date:	Not reported
Air contaminated:	Not reported
Air cleaned:	Not reported
Asbestos found:	Not reported
Asbestos cleaned:	Not reported
Controlled substance found:	Not reported
Controlled substance cleaned:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

38 WASHINGTON AVENUE (Continued)

1016951901

Drinking water affected:	Not reported
Drinking water cleaned:	Not reported
Groundwater affected:	Not reported
Groundwater cleaned:	Not reported
Lead contaminant found:	Not reported
Lead cleaned up:	Not reported
No media affected:	Not reported
Unknown media affected:	Not reported
Other cleaned up:	Not reported
Other metals found:	Not reported
Other metals cleaned:	Not reported
Other contaminants found:	Not reported
Other contams found description:	Not reported
PAHs found:	Not reported
PAHs cleaned up:	Not reported
PCBs found:	Not reported
PCBs cleaned up:	Not reported
Petro products found:	Not reported
Petro products cleaned:	Not reported
Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Not reported
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Not reported
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	Not reported
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported
Future use commercial acreage:	Not reported
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported
Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported
Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported
Selenium cleaned up:	Not reported
SVOCs cleaned up:	Not reported
Unknown clean up:	Not reported
Arsenic contaminant found:	Not reported
Cadmium contaminant found:	Not reported
Chromium contaminant found:	Not reported
Copper contaminant found:	Not reported
Iron contaminant found:	Not reported
Mercury contaminant found:	Not reported
Nickel contaminant found:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

38 WASHINGTON AVENUE (Continued)

1016951901

No contaminant found:	Not reported
Pesticides contaminant found:	Not reported
Selenium contaminant found:	Not reported
SVOCs contaminant found:	Not reported
Unknown contaminant found:	Not reported
Future Use: Multistory	Not reported
Media affected Bluiding Material:	Not reported
Media affected indoor air:	Not reported
Building material media cleaned up:	Not reported
Indoor air media cleaned up:	Not reported
Unknown media cleaned up:	Not reported
Past Use: Multistory	Not reported
Highlights:	Not reported
IC Data Address:	Not reported
Redev Completion Date:	Not reported
# Below Poverty:	424
% Below Poverty:	6.2%
# Low Income:	1030
% Low Income:	2.6%
Meidan Income:	34098
# Unemployed:	100
% Unemployed:	26.5%
# Vacant Housing:	111
% Vacant Housing:	23.8%

D32
SSE
 < 1/8
 0.066 mi.
 348 ft.

38 WASHINGTON AVENUE
38 WASHINGTON AVENUE
RENSSELAER, NY 12144

FINDS 1017401115
N/A

Site 2 of 6 in cluster D

Relative:
Higher

FINDS:

Registry ID: 110063008944

Actual:
109 ft.

Environmental Interest/Information System
 US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES)
 is an federal online database for Brownfields Grantees to
 electronically submit data directly to EPA.

E33
SSW
 < 1/8
 0.074 mi.
 391 ft.

1307, 1317, 1347 BROADWAY
1347 BROADWAY
RENSSELAER, NY 12144

US BROWNFIELDS 1014810203
N/A

Site 1 of 8 in cluster E

Relative:
Higher

US BROWNFIELDS:

Recipient name: Rensselaer, City of
 Grant type: Assessment

Actual:
54 ft.

Property name: 1307, 1317, 1347 BROADWAY
 Property #: 144.29-1-8
 Parcel size: .23
 Property Description: The Site properties are located at 1307, 1317, and 1347 Broadway, and a public right of way contiguous to the southern side of 1317 Broadway, in the City of Rensselaer, Rensselaer County, New York.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1307, 1317, 1347 BROADWAY (Continued)

1014810203

Prior to 1909 the tax parcels 1317 and 1319 Broadway were joined into just 1317 Broadway. Even though a tax parcel no longer exists for 1319 Broadway, the street address has been continued throughout the years. The Site currently consists of mostly vacant land in a mostly residential area of Rensselaer. There is one structure, an unoccupied two family residence, on the 1307 Broadway parcel. The three Site properties and the public right of way are owned by the City of Rensselaer.

Latitude: 42.65189
Longitude: -73.73696
HCM label: Not reported
Map scale: Not reported
Point of reference: Not reported
Datum: Not reported
ACRES property ID: 131983
Start date: Not reported
Completed date: Not reported
Acres cleaned up: Not reported
Cleanup funding: Not reported
Cleanup funding source: Not reported
Assessment funding: 4500
Assessment funding source: US EPA - Brownfields Assessment Cooperative Agreement
Redevelopment funding: Not reported
Redev. funding source: Not reported
Redev. funding entity name: Not reported
Redevelopment start date: Not reported
Assessment funding entity: EPA
Cleanup funding entity: Not reported
Grant type: Petroleum
Accomplishment type: Phase I Environmental Assessment
Accomplishment count: 1
Cooperative agreement #: 97249407
Ownership entity: Government
Current owner: Not reported
Did owner change: Not reported
Cleanup required: No
Video available: No
Photo available: Yes
Institutional controls required: N
IC Category proprietary controls: Not reported
IC cat. info. devices: Not reported
IC cat. gov. controls: Not reported
IC cat. enforcement permit tools: Not reported
IC in place date: Not reported
IC in place: Not reported
State/tribal program date: Not reported
State/tribal program ID: Not reported
State/tribal NFA date: Not reported
Air contaminated: Not reported
Air cleaned: Not reported
Asbestos found: Not reported
Asbestos cleaned: Not reported
Controlled substance found: Not reported
Controlled substance cleaned: Not reported
Drinking water affected: Not reported
Drinking water cleaned: Not reported
Groundwater affected: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1307, 1317, 1347 BROADWAY (Continued)

1014810203

Groundwater cleaned:	Not reported
Lead contaminant found:	Not reported
Lead cleaned up:	Not reported
No media affected:	Not reported
Unknown media affected:	Not reported
Other cleaned up:	Not reported
Other metals found:	Not reported
Other metals cleaned:	Not reported
Other contaminants found:	Not reported
Other contams found description:	Not reported
PAHs found:	Not reported
PAHs cleaned up:	Not reported
PCBs found:	Not reported
PCBs cleaned up:	Not reported
Petro products found:	Not reported
Petro products cleaned:	Not reported
Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Not reported
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Not reported
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	Not reported
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported
Future use commercial acreage:	Not reported
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported
Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported
Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported
Selenium cleaned up:	Not reported
SVOCs cleaned up:	Not reported
Unknown clean up:	Not reported
Arsenic contaminant found:	Not reported
Cadmium contaminant found:	Not reported
Chromium contaminant found:	Not reported
Copper contaminant found:	Not reported
Iron contaminant found:	Not reported
Mercury contaminant found:	Not reported
Nickel contaminant found:	Not reported
No contaminant found:	Not reported
Pesticides contaminant found:	Not reported
Selenium contaminant found:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

1307, 1317, 1347 BROADWAY (Continued)

1014810203

SVOCs contaminant found:	Not reported
Unknown contaminant found:	Not reported
Future Use: Multistory	Not reported
Media affected Bluiding Material:	Not reported
Media affected indoor air:	Not reported
Building material media cleaned up:	Not reported
Indoor air media cleaned up:	Not reported
Unknown media cleaned up:	Not reported
Past Use: Multistory	Not reported
Highlights:	Not reported
IC Data Address:	Not reported
Redev Completion Date:	Not reported
# Below Poverty:	574
% Below Poverty:	5.7%
# Low Income:	1425
% Low Income:	2.3%
Meidan Income:	22137
# Unemployed:	134
% Unemployed:	24.4%
# Vacant Housing:	96
% Vacant Housing:	34.1%

E34
SSW
 < 1/8
 0.074 mi.
 391 ft.

1307, 1317, 1347 BROADWAY
1347 BROADWAY
RENSSELAER, NY 12144
Site 2 of 8 in cluster E

FINDS 1016358915
N/A

Relative:
Higher

FINDS:

Registry ID: 110043638132

Actual:
54 ft.

Environmental Interest/Information System
 US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES)
 is a federal online database for Brownfields Grantees to
 electronically submit data directly to EPA.

E35
SSW
 < 1/8
 0.074 mi.
 391 ft.

BROADWAY ODORS THROUGHOUT THE CITY OF RENS
1402 BROADWAY
RENSSELAER, NY
Site 3 of 8 in cluster E

NY Spills S118706667
N/A

Relative:
Higher

SPILLS:

Facility ID:	1603814
Facility Type:	ER
DER Facility ID:	484364
Site ID:	530296
DEC Region:	4
Spill Date:	2016-07-09
Spill Number/Closed Date:	1603814 / 2016-07-22
Spill Cause:	Unknown
Spill Class:	No spill occurred. No DEC Response. No corrective action required.
SWIS:	4214
Investigator:	JDUTBERG

Actual:
53 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BROADWAY ODORS THROUGHOUT THE CITY OF RENS (Continued)

S118706667

Referred To: AIR
Reported to Dept: 2016-07-18
CID: Not reported
Water Affected: Not reported
Spill Source: Unknown
Spill Notifier: Citizen
Cleanup Ceased: Not reported
Cleanup Meets Std: False
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 2016-07-18
Spill Record Last Update: 2016-07-27
Spiller Name: Not reported
Spiller Company: UNKNOWN
Spiller Address: Not reported
Spiller City,St,Zip: NY
Spiller Company: 999
Contact Name: JOE PRIMO
Contact Phone: 5184491095
DEC Memo: "Complaint about odors throughout the city of Rens. and other areas of the capital region. Forwarded to Air. SPill closed. "
Remarks: ""

Material:
Site ID: 530296
Operable Unit ID: 1279093
Operable Unit: 01
Material ID: 2284114
Material Code: 9999
Material Name: other - odor
Case No.: Not reported
Material FA: Other
Quantity: Not reported
Units: Not reported
Recovered: Not reported
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

36
NE
< 1/8
0.079 mi.
416 ft.

**NYSDOT BIN 109283B
I-90 EB OVER LAND
ALBANY, NY 12204**

**RCRA NonGen / NLR 1000554010
MANIFEST NYD986964500**

**Relative:
Higher**

RCRA NonGen / NLR:
Date form received by agency: 01/01/2007
Facility name: NYSDOT BIN 109283B
Facility address: I-90 EB OVER LAND
ALBANY, NY 12204
EPA ID: NYD986964500
Mailing address: HOLLAND AVE
ALBANY, NY 12208
Contact: STEVE PRESCOTT

**Actual:
30 ft.**

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 109283B (Continued)

1000554010

Contact address: HOLLAND AVE
ALBANY, NY 12208
Contact country: US
Contact telephone: (518) 474-6562
Contact email: Not reported
EPA Region: 02
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: NYSDOT
Owner/operator address: 84 HOLLAND AVE
ALBANY, NY 12208
Owner/operator country: US
Owner/operator telephone: (518) 474-6562
Legal status: State
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: NYSDOT
Owner/operator address: 84 HOLLAND AVE
ALBANY, NY 12208
Owner/operator country: US
Owner/operator telephone: (518) 474-6562
Legal status: State
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 01/01/2006
Site name: NYSDOT BIN 109283B
Classification: Not a generator, verified

Date form received by agency: 03/29/1996
Site name: NYS DEPARTMENT OF TRANSPORTATION REG I
Classification: Large Quantity Generator

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 109283B (Continued)

1000554010

Date form received by agency: 07/16/1991
Site name: NYSDOT BIN 109283B
Classification: Not a generator, verified

. Waste code: D000
. Waste name: Not Defined

. Waste code: D008
. Waste name: LEAD

Violation Status: No violations found

NY MANIFEST:

Country: USA
EPA ID: NYD986964500
Facility Status: Not reported
Location Address 1: I90EB
Code: BP
Location Address 2: Not reported
Total Tanks: Not reported
Location City: ALBANY
Location State: NY
Location Zip: 12204
Location Zip 4: Not reported

NY MANIFEST:

EPAID: NYD986964500
Mailing Name: NYSDOT BIN 148-109283B
Mailing Contact: STEPHEN L. PRESCOTT
Mailing Address 1: 84 HOLLAND AVENUE
Mailing Address 2: Not reported
Mailing City: ALBANY
Mailing State: NY
Mailing Zip: 12208
Mailing Zip 4: Not reported
Mailing Country: USA
Mailing Phone: 5184774326

NY MANIFEST:

Document ID: PAE3302040
Manifest Status: C
seq: Not reported
Year: 1995
Trans1 State ID: PAAH0131
Trans2 State ID: Not reported
Generator Ship Date: 09/20/1995
Trans1 Recv Date: 09/20/1995
Trans2 Recv Date: / /
TSD Site Recv Date: 09/20/1995
Part A Recv Date: 09/29/1995
Part B Recv Date: 10/02/1995
Generator EPA ID: NYD986964500
Trans1 EPA ID: PAD010154045
Trans2 EPA ID: Not reported
TSDF ID 1: PAD010154045
TSDF ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 109283B (Continued)

1000554010

Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D008 - LEAD 5.0 MG/L TCLP
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 42520
Units: P - Pounds
Number of Containers: 001
Container Type: CM - Metal boxes, cases, roll-offs
Handling Method: L Landfill.
Specific Gravity: 100

Document ID: Not reported
Manifest Status: Not reported
seq: Not reported
Year: 2014
Trans1 State ID: NJR986628162
Trans2 State ID: Not reported
Generator Ship Date: 10/17/2014
Trans1 Recv Date: 10/17/2014
Trans2 Recv Date: Not reported
TSD Site Recv Date: 10/17/2014
Part A Recv Date: Not reported
Part B Recv Date: Not reported
Generator EPA ID: NYD986964500
Trans1 EPA ID: Not reported
Trans2 EPA ID: Not reported
TSDF ID 1: NJD991291105
TSDF ID 2: Not reported
Manifest Tracking Number: 007662363FLE
Import Indicator: N
Export Indicator: N
Discr Quantity Indicator: Y
Discr Type Indicator: N
Discr Residue Indicator: N
Discr Partial Reject Indicator: N
Discr Full Reject Indicator: N
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: H110
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 109283B (Continued)

1000554010

Waste Code: Not reported
Quantity: 34200
Units: P - Pounds
Number of Containers: 1
Container Type: CM - Metal boxes, cases, roll-offs
Handling Method: T Chemical, physical, or biological treatment.
Specific Gravity: 1
Waste Code: D008
Waste Code 1_2: Not reported
Waste Code 1_3: Not reported
Waste Code 1_4: Not reported
Waste Code 1_5: Not reported
Waste Code 1_6: Not reported

Document ID: NYB2457171
Manifest Status: C
seq: Not reported
Year: 1991
Trans1 State ID: 10218PNY
Trans2 State ID: Not reported
Generator Ship Date: 11/12/1991
Trans1 Recv Date: 11/12/1991
Trans2 Recv Date: / /
TSD Site Recv Date: 11/13/1991
Part A Recv Date: / /
Part B Recv Date: 11/20/1991
Generator EPA ID: NYD986964500
Trans1 EPA ID: NYD980769947
Trans2 EPA ID: Not reported
TSD ID 1: OHD066060609
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D008 - LEAD 5.0 MG/L TCLP
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 01600
Units: P - Pounds
Number of Containers: 002
Container Type: DM - Metal drums, barrels
Handling Method: L Landfill.
Specific Gravity: 100

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

F37
SSW
< 1/8
0.080 mi.
422 ft.

NAT GRID TRANSFORMER 1ST ST
1449 1ST ST
RENSELAER, NY
Site 1 of 3 in cluster F

NY Spills S110769480
N/A

Relative:
Higher

SPILLS:

Facility ID: 1012953
Facility Type: ER
DER Facility ID: 401856
Site ID: 447254
DEC Region: 4
Spill Date: 2011-03-29
Spill Number/Closed Date: 1012953 / 2011-05-11
Spill Cause: Unknown
Spill Class: Known release with minimal potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.

Actual:
58 ft.

SWIS:

Investigator: pnbentie
Referred To: Not reported
Reported to Dept: 2011-03-29
CID: Not reported
Water Affected: Not reported
Spill Source: Transformer
Spill Notifier: Responsible Party
Cleanup Ceased: Not reported
Cleanup Meets Std: True
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 2011-03-29
Spill Record Last Update: 2014-01-08
Spiller Name: BARB SHEURER
Spiller Company: NATIONAL GRID NIMO
Spiller Address: NEAR 1449 1ST ST
Spiller City,St,Zip: RENSELAER, NY
Spiller Company: 999
Contact Name: BARB SHEURER
Contact Phone: (518) 433-3696
DEC Memo: "5/11/11 - PNB e-mail to Barb S.: There are a couple on my list which weren't on this list. Can you tell me what happened with 1012953 (1449 1ST ST RENSELAER) and 1101264 (19 DANIA DR HAGAMAN)? Scheurer, Barbara S. 5/11/2011 2:54 PM >>> Both were factory labeled nonPCB, both clean ups were completed by National Grid, both due to equipment failure. "

Remarks:

"PADMOUNT TRANSFORMER HAS DRIP DOWN THE SIDE, SCHEDULED INTERRUPTION PLANNED, THEN CLEAN UP. CONTAINED TO AREA."

Material:

Site ID: 447254
Operable Unit ID: 1197390
Operable Unit: 01
Material ID: 2193709
Material Code: 0020A
Material Name: transformer oil
Case No.: Not reported
Material FA: Petroleum
Quantity: Not reported
Units: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

NAT GRID TRANSFORMER 1ST ST (Continued)

S110769480

Recovered: Not reported
 Resource Affected: Not reported
 Oxygenate: Not reported

Tank Test:

G38
NNE
 < 1/8
 0.081 mi.
 429 ft.

PATROON ISLAND BRIDGE (I-90) DRUMS
UNDER PATROON ISLAND BRIDGE (I-90)
RENSSELAER, NY
 Site 1 of 3 in cluster G

NY Spills S102156548
N/A

Relative:
Lower

SPILLS:

Facility ID: 8602111
 Facility Type: ER
 DER Facility ID: 264143
 Site ID: 328200
 DEC Region: 4
 Spill Date: 1986-06-27
 Spill Number/Closed Date: 8602111 / 1986-06-27
 Spill Cause: Deliberate
 Spill Class: Known release that creates a file or hazard. DEC Response. Unknown Responsible Party. Corrective action taken. (ISR)

Actual:
0 ft.

SWIS:
 Investigator: MCDONALD
 Referred To: Not reported
 Reported to Dept: 1986-06-27
 CID: Not reported
 Water Affected: Not reported
 Spill Source: Commercial Vehicle
 Spill Notifier: Police Department
 Cleanup Ceased: 1986-06-27
 Cleanup Meets Std: True
 Last Inspection: Not reported
 Recommended Penalty: False
 UST Trust: False
 Remediation Phase: 0
 Date Entered In Computer: 1986-07-15
 Spill Record Last Update: 2011-08-26
 Spiller Name: Not reported
 Spiller Company: UNKNOWN
 Spiller Address: Not reported
 Spiller City,St,Zip: NY
 Spiller Company: 999
 Contact Name: Not reported
 Contact Phone: Not reported
 DEC Memo: ""
 Remarks: "OTH.SPL.LOC-RT.I-90-"

Material:

Site ID: 328200
 Operable Unit ID: 898677
 Operable Unit: 01
 Material ID: 571110
 Material Code: 0008
 Material Name: diesel
 Case No.: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

PATROON ISLAND BRIDGE (I-90) DRUMS (Continued)

S102156548

Material FA: Petroleum
 Quantity: 100.00
 Units: Gallons
 Recovered: 100.00
 Resource Affected: Not reported
 Oxygenate: Not reported

Tank Test:

E39 1307, 1317, 1347 BROADWAY
SSW 1317 BROADWAY
 < 1/8 RENSSELAER, NY 12144
 0.081 mi.
 429 ft. **Site 4 of 8 in cluster E**

FINDS 1016358914
 N/A

Relative:
Higher

FINDS:

Registry ID: 110043638123

Actual:
 55 ft.

Environmental Interest/Information System

US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES) is an federal online database for Brownfields Grantees to electronically submit data directly to EPA.

E40 1307, 1317, 1347 BROADWAY
SSW 1317 BROADWAY
 < 1/8 RENSSELAER, NY 12144
 0.081 mi.
 429 ft. **Site 5 of 8 in cluster E**

US BROWNFIELDS 1014810202
 N/A

Relative:
Higher

US BROWNFIELDS:

Recipient name: Rensselaer, City of
 Grant type: Assessment
 Property name: 1307, 1317, 1347 BROADWAY
 Property #: 144.29-1-9
 Parcel size: .46

Actual:
 55 ft.

Property Description:

The Site properties are located at 1307, 1317, and 1347 Broadway, and a public right of way contiguous to the southern side of 1317 Broadway, in the City of Rensselaer, Rensselaer County, New York. Prior to 1909 the tax parcels 1317 and 1319 Broadway were joined into just 1317 Broadway. Even though a tax parcel no longer exists for 1319 Broadway, the street address has been continued throughout the years. The Site currently consists of mostly vacant land in a mostly residential area of Rensselaer. There is one structure, an unoccupied two family residence, on the 1307 Broadway parcel. The three Site properties and the public right of way are owned by the City of Rensselaer.

Latitude: 42.65189
 Longitude: -73.73712
 HCM label: Not reported
 Map scale: Not reported
 Point of reference: Not reported
 Datum: Not reported
 ACRES property ID: 131982

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1307, 1317, 1347 BROADWAY (Continued)

1014810202

Start date: Not reported
Completed date: Not reported
Acres cleaned up: Not reported
Cleanup funding: Not reported
Cleanup funding source: Not reported
Assessment funding: 4500
Assessment funding source: US EPA - Brownfields Assessment Cooperative Agreement
Redevelopment funding: Not reported
Redev. funding source: Not reported
Redev. funding entity name: Not reported
Redevelopment start date: Not reported
Assessment funding entity: EPA
Cleanup funding entity: Not reported
Grant type: Petroleum
Accomplishment type: Phase I Environmental Assessment
Accomplishment count: 1
Cooperative agreement #: 97249407
Ownership entity: Not reported
Current owner: Not reported
Did owner change: Not reported
Cleanup required: No
Video available: No
Photo available: Yes
Institutional controls required: N
IC Category proprietary controls: Not reported
IC cat. info. devices: Not reported
IC cat. gov. controls: Not reported
IC cat. enforcement permit tools: Not reported
IC in place date: Not reported
IC in place: Not reported
State/tribal program date: Not reported
State/tribal program ID: Not reported
State/tribal NFA date: Not reported
Air contaminated: Not reported
Air cleaned: Not reported
Asbestos found: Not reported
Asbestos cleaned: Not reported
Controlled substance found: Not reported
Controlled substance cleaned: Not reported
Drinking water affected: Not reported
Drinking water cleaned: Not reported
Groundwater affected: Not reported
Groundwater cleaned: Not reported
Lead contaminant found: Not reported
Lead cleaned up: Not reported
No media affected: Not reported
Unknown media affected: Not reported
Other cleaned up: Not reported
Other metals found: Not reported
Other metals cleaned: Not reported
Other contaminants found: Not reported
Other contaminants found description: Not reported
PAHs found: Not reported
PAHs cleaned up: Not reported
PCBs found: Not reported
PCBs cleaned up: Not reported
Petro products found: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1307, 1317, 1347 BROADWAY (Continued)

1014810202

Petro products cleaned:	Not reported
Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Not reported
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Not reported
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	Not reported
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported
Future use commercial acreage:	Not reported
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported
Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported
Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported
Selenium cleaned up:	Not reported
SVOCs cleaned up:	Not reported
Unknown clean up:	Not reported
Arsenic contaminant found:	Not reported
Cadmium contaminant found:	Not reported
Chromium contaminant found:	Not reported
Copper contaminant found:	Not reported
Iron contaminant found:	Not reported
Mercury contaminant found:	Not reported
Nickel contaminant found:	Not reported
No contaminant found:	Not reported
Pesticides contaminant found:	Not reported
Selenium contaminant found:	Not reported
SVOCs contaminant found:	Not reported
Unknown contaminant found:	Not reported
Future Use: Multistory	Not reported
Media affected Bluiding Material:	Not reported
Media affected indoor air:	Not reported
Building material media cleaned up:	Not reported
Indoor air media cleaned up:	Not reported
Unknown media cleaned up:	Not reported
Past Use: Multistory	Not reported
Highlights:	Not reported
IC Data Address:	Not reported
Redev Completion Date:	Not reported
# Below Poverty:	579
% Below Poverty:	5.8%
# Low Income:	1454

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1307, 1317, 1347 BROADWAY (Continued)

1014810202

% Low Income: 2.3%
Median Income: 15515
Unemployed: 136
% Unemployed: 24.5%
Vacant Housing: 100
% Vacant Housing: 33.3%

**E41
SSW
< 1/8
0.083 mi.
440 ft.**

**MALARK CAPITAL DEMO BROADWAY
1319 BROADWAY
RENSSELAER, NY**

**NY Spills S102115385
N/A**

Site 6 of 8 in cluster E

**Relative:
Higher**

SPILLS:

Facility ID: 9315438
Facility Type: ER
DER Facility ID: 65950
Site ID: 69364
DEC Region: 4
Spill Date: 1994-03-30
Spill Number/Closed Date: 9315438 / 1994-05-05
Spill Cause: Deliberate
Spill Class: Possible release with minimal potential for fire or hazard or Known release with no damage. DEC Response. Willing Responsible Party. Corrective action taken.

**Actual:
56 ft.**

SWIS:

4214
Investigator: WTCHRIST
Referred To: Not reported
Reported to Dept: 1994-03-30
CID: Not reported
Water Affected: SURFACE WATER?
Spill Source: Private Dwelling
Spill Notifier: Affected Persons
Cleanup Ceased: 1994-03-30
Cleanup Meets Std: True
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 1994-04-14
Spill Record Last Update: 2009-05-26
Spiller Name: Not reported
Spiller Company: WM. MALARK CAPITAL DEMO
Spiller Address: Not reported
Spiller City,St,Zip: ZZ
Spiller Company: 001
Contact Name: Not reported
Contact Phone: Not reported
DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was CHRISTENSEN 09/28/95: This is additional information about material spilled from the translation of the old spill file: GREEN PUDDLES, WASTE. 5/26/09 - FOIL 09/165."

Remarks: "ONGOING AT LEAST 1YR. REFD TO CITY OF RENSSELAER."

Material:

Tank Test:

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

D42
SE
< 1/8
0.087 mi.
461 ft.

TEDFORD 2ND ST
1640 2ND ST
RENSSELAER, NY
Site 3 of 6 in cluster D

NY Spills **S102114946**
N/A

Relative:
Higher

SPILLS:

Facility ID: 9303575
Facility Type: ER
DER Facility ID: 66027
Site ID: 69446
DEC Region: 4
Spill Date: 1993-06-18
Spill Number/Closed Date: 9303575 / 1998-02-02
Spill Cause: Deliberate
Spill Class: Possible release with minimal potential for fire or hazard or Known release with no damage. DEC Response. Willing Responsible Party. Corrective action taken.

Actual:
125 ft.

SWIS:

Investigator: WEBLAIN
Referred To: Not reported
Reported to Dept: 1993-06-18
CID: Not reported
Water Affected: Not reported
Spill Source: Private Dwelling
Spill Notifier: Citizen
Cleanup Ceased: Not reported
Cleanup Meets Std: False
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 1993-06-18
Spill Record Last Update: 2009-11-20
Spiller Name: Not reported
Spiller Company: SCOTT TEDFORD
Spiller Address: 1640 SECOND ST
Spiller City,St,Zip: RENSSELAER, ZZ
Spiller Company: 001
Contact Name: Not reported
Contact Phone: Not reported
DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was BLAIN "
Remarks: "SERVICES CARS, DUMPS OIL ON GROUND, RAIN RUN-OFF TO ST. SGT VAN DYKE, RENS PD 462-7451. SEE 9303544???"

Material:

Site ID: 69446
Operable Unit ID: 985387
Operable Unit: 01
Material ID: 397135
Material Code: 0022
Material Name: waste oil/used oil
Case No.: Not reported
Material FA: Petroleum
Quantity: .00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

TEDFORD 2ND ST (Continued)

S102114946

Tank Test:

E43
SSW
 < 1/8
 0.099 mi.
 522 ft.

1307, 1317, 1347 BROADWAY
1307 BROADWAY
RENSSELAER, NY 12144

US BROWNFIELDS **1014810201**
 N/A

Site 7 of 8 in cluster E

Relative:
Higher

US BROWNFIELDS:

Actual:
60 ft.

<p>Recipient name: Rensselaer, City of Grant type: Assessment Property name: 1307, 1317, 1347 BROADWAY Property #: 144.29-1-11 Parcel size: .1 Property Description: The Site properties are located at 1307, 1317, and 1347 Broadway, and a public right of way contiguous to the southern side of 1317 Broadway, in the City of Rensselaer, Rensselaer County, New York. Prior to 1909 the tax parcels 1317 and 1319 Broadway were joined into just 1317 Broadway. Even though a tax parcel no longer exists for 1319 Broadway, the street address has been continued throughout the years. The Site currently consists of mostly vacant land in a mostly residential area of Rensselaer. There is one structure, an unoccupied two family residence, on the 1307 Broadway parcel. The three Site properties and the public right of way are owned by the City of Rensselaer.</p>	<p>Latitude: 42.65156 Longitude: -73.7372 HCM label: Not reported Map scale: Not reported Point of reference: Not reported Datum: Not reported ACRES property ID: 131981 Start date: Not reported Completed date: Not reported Acres cleaned up: Not reported Cleanup funding: Not reported Cleanup funding source: Not reported Assessment funding: 4500 Assessment funding source: US EPA - Brownfields Assessment Cooperative Agreement Redevelopment funding: Not reported Redev. funding source: Not reported Redev. funding entity name: Not reported Redevelopment start date: Not reported Assessment funding entity: EPA Cleanup funding entity: Not reported Grant type: Petroleum Accomplishment type: Phase I Environmental Assessment Accomplishment count: 1 Cooperative agreement #: 97249407 Ownership entity: Not reported Current owner: Not reported Did owner change: Not reported Cleanup required: No Video available: No Photo available: Yes Institutional controls required: N</p>
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Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1307, 1317, 1347 BROADWAY (Continued)

1014810201

IC Category proprietary controls:	Not reported
IC cat. info. devices:	Not reported
IC cat. gov. controls:	Not reported
IC cat. enforcement permit tools:	Not reported
IC in place date:	Not reported
IC in place:	Not reported
State/tribal program date:	Not reported
State/tribal program ID:	Not reported
State/tribal NFA date:	Not reported
Air contaminated:	Not reported
Air cleaned:	Not reported
Asbestos found:	Not reported
Asbestos cleaned:	Not reported
Controlled substance found:	Not reported
Controlled substance cleaned:	Not reported
Drinking water affected:	Not reported
Drinking water cleaned:	Not reported
Groundwater affected:	Not reported
Groundwater cleaned:	Not reported
Lead contaminant found:	Not reported
Lead cleaned up:	Not reported
No media affected:	Not reported
Unknown media affected:	Not reported
Other cleaned up:	Not reported
Other metals found:	Not reported
Other metals cleaned:	Not reported
Other contaminants found:	Not reported
Other contaminants found description:	Not reported
PAHs found:	Not reported
PAHs cleaned up:	Not reported
PCBs found:	Not reported
PCBs cleaned up:	Not reported
Petro products found:	Not reported
Petro products cleaned:	Not reported
Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Not reported
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Not reported
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	Not reported
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported
Future use commercial acreage:	Not reported
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported
Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

1307, 1317, 1347 BROADWAY (Continued)

1014810201

Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported
Selenium cleaned up:	Not reported
SVOCs cleaned up:	Not reported
Unknown clean up:	Not reported
Arsenic contaminant found:	Not reported
Cadmium contaminant found:	Not reported
Chromium contaminant found:	Not reported
Copper contaminant found:	Not reported
Iron contaminant found:	Not reported
Mercury contaminant found:	Not reported
Nickel contaminant found:	Not reported
No contaminant found:	Not reported
Pesticides contaminant found:	Not reported
Selenium contaminant found:	Not reported
SVOCs contaminant found:	Not reported
Unknown contaminant found:	Not reported
Future Use: Multistory	Not reported
Media affected Bluiding Material:	Not reported
Media affected indoor air:	Not reported
Building material media cleaned up:	Not reported
Indoor air media cleaned up:	Not reported
Unknown media cleaned up:	Not reported
Past Use: Multistory	Not reported
Highlights:	Not reported
IC Data Address:	Not reported
Redev Completion Date:	Not reported
# Below Poverty:	581
% Below Poverty:	5.9%
# Low Income:	1504
% Low Income:	2.3%
Meidan Income:	14191
# Unemployed:	138
% Unemployed:	24.8%
# Vacant Housing:	104
% Vacant Housing:	32.9%

E44
SSW
 < 1/8
 0.099 mi.
 522 ft.

1307, 1317, 1347 BROADWAY
1307 BROADWAY
RENSSELAER, NY 12144
Site 8 of 8 in cluster E

FINDS 1016358913
N/A

Relative:
Higher

FINDS:

Registry ID: 110043638114

Actual:
 60 ft.

Environmental Interest/Information System
 US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES)
 is an federal online database for Brownfields Grantees to
 electronically submit data directly to EPA.

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

F45
SSW
< 1/8
0.102 mi.
536 ft.

BOHLEY GARAGE
1417 1ST
RENSSELAER, NY
Site 2 of 3 in cluster F

NY Spills **S108638423**
N/A

Relative:
Higher

SPILLS:

Facility ID: 0703476
Facility Type: ER
DER Facility ID: 332860
Site ID: 383408
DEC Region: 4
Spill Date: 2007-06-25
Spill Number/Closed Date: 0703476 / 2007-10-03
Spill Cause: Deliberate
Spill Class: Known release with minimal potential for fire or hazard. No DEC Response. No corrective action required.

Actual:
72 ft.

SWIS:

Investigator: weblain
Referred To: Not reported
Reported to Dept: 2007-06-25
CID: 408
Water Affected: Not reported
Spill Source: Private Dwelling
Spill Notifier: Citizen
Cleanup Ceased: Not reported
Cleanup Meets Std: True
Last Inspection: 2007-10-02
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 2007-06-25
Spill Record Last Update: 2013-08-14
Spiller Name: JOE SCULLY
Spiller Company: PRIVATE HOME
Spiller Address: 1417 1ST
Spiller City,St,Zip: RENSSELAER, NY 12144
Spiller Company: 001
Contact Name: ANONYMOUS
Contact Phone: () -
DEC Memo: "10/02/07 Blain onsite. Property definitely unkempt, but not a spill issue. closed."

Remarks:

"ON GOING FOR A FEW MONTHS; SOMEONE IS USING A HOME GARAGE AS A AUTO SHOP; MULTIPLE MATERIALS FROM VEHICLES; MATERIAL IS ON DRIVEWAY IN GARAGE AND ON SIDEWALK; NOT THE OWNER OF THE HOME BUT THE OWNERS BROTHER WHO IS DOING THE WORK ON THESE VEHICLES; HOME ON CORNER OF 1ST AND MCNAUGHTON AVE; NOT CONATINED OR CLEANED;"

Material:

Site ID: 383408
Operable Unit ID: 1140761
Operable Unit: 01
Material ID: 2130856
Material Code: 0064A
Material Name: unknown material
Case No.: Not reported
Material FA: Other
Quantity: Not reported
Units: Gallons
Recovered: .00

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

BOHLEY GARAGE (Continued)

S108638423

Resource Affected: Not reported
 Oxygenate: Not reported

Tank Test:

D46
SE
 < 1/8
 0.106 mi.
 560 ft.

CITGO 3RD ST @ WASHINGTON AVE GRAY
3RD ST @ WASHINGTON AVE (1647 A 3RD ST)
RENSSELAER, NY
 Site 4 of 6 in cluster D

NY Spills S112148764
N/A

Relative:
Higher

SPILLS:

Facility ID: 9406821
 Facility Type: ER
 DER Facility ID: 418827
 Site ID: 121052
 DEC Region: 4
 Spill Date: 1994-08-18
 Spill Number/Closed Date: 9406821 / 1994-09-15
 Spill Cause: Equipment Failure
 Spill Class: Known release that creates potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.

Actual:
129 ft.

SWIS:

Investigator: WEBLAIN
 Referred To: Not reported
 Reported to Dept: 1994-08-18
 CID: Not reported
 Water Affected: Not reported
 Spill Source: Gasoline Station or other PBS Facility
 Spill Notifier: Citizen
 Cleanup Ceased: 1994-08-19
 Cleanup Meets Std: True
 Last Inspection: 1994-08-19
 Recommended Penalty: False
 UST Trust: True
 Remediation Phase: 0
 Date Entered In Computer: 1994-09-15
 Spill Record Last Update: 2012-05-22
 Spiller Name: (W)475-3600 EXT3277
 Spiller Company: DAVID GRAY (3RD ST CITGO)
 Spiller Address: 15 ROBERT LANE
 Spiller City,St,Zip: RENSSELAER, NY 12144-999
 Spiller Company:
 Contact Name: Not reported
 Contact Phone: Not reported
 DEC Memo:

"Prior to Sept, 2004 data translation this spill Lead_DEC Field was BLAIN 11/94 INITIAL SITE INVESTIGATION-- 3 BORINGS, ONE OF THEM SHOWED SOME SIGNIFICANT CONTAMINATION IN THE CENTER OF THE SITE. THE SITE CONTAINS TANKS THAT WERE FILLED IN PLACE WITHOUT THE BENEFIT OF A SITE ASSESSMENT. APPROX. 5 PPM IN SOILS VIA TCLP METHOD. 6/97 SECOND PHASE INVESTIGATION NO GW TO DEPTH OF 32 FEET. NO CONTAMINATION FOUND AT THE EDGES OF THE PROPERTY. CLOSED, DOES NOT MEET STANDARDS. WB See Edocs; 8911708; PBS 4-087351"
 Remarks: "CALLER CLAIMS UGTS ABAN @ CONVERTED STAT CAUSE ODOR IN SEWER. BLAIN INSP FOUND NO PROBLEM, POSSIBLE PBS CONCERNS. APPARENT NEIGHBOR DISPUTE, SEE FOLDER DOB FOUND PBS REG, UGTS ABAN IN PLACE? ASSESS D"

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CITGO 3RD ST @ WASHINGTON AVE GRAY (Continued)

S112148764

Material:

Site ID: 121052
Operable Unit ID: 1004245
Operable Unit: 01
Material ID: 379851
Material Code: 0009
Material Name: gasoline
Case No.: Not reported
Material FA: Petroleum
Quantity: .00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

Site ID: 121052
Spill Tank Test: 1543065
Tank Number: Not reported
Tank Size: 0
Test Method: 00
Leak Rate: .00
Gross Fail: Not reported
Modified By: Spills
Last Modified: Not reported
Test Method: Unknown

D47
SE
< 1/8
0.107 mi.
566 ft.

WICKS SERV STA
1647 3RD ST
RENSSELAER, NY
Site 5 of 6 in cluster D

EDR Hist Auto 1014930048
N/A

Relative:
Higher
Actual:
129 ft.

EDR Historical Auto Stations:
Name: WICKS SERV STA
Year: 1960
Type: GASOLINE STATIONS
Name: A CIPS CITGO SERVICE STATION
Year: 1971
Type: GASOLINE STATIONS
Name: CIPS CITGO SERVICE STATION
Year: 1975
Type: GASOLINE STATIONS
Name: A LA MARRES CITGO
Year: 1981
Type: GASOLINE STATIONS
Name: A THIRD STREET CITGO
Year: 1985
Type: GASOLINE STATIONS

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

D48 **GRAYS RED CITIES SERV STA** **EDR Hist Auto** **1014929857**
SE **1649 3RD ST** **N/A**
< 1/8 **RENSSELAER, NY**
0.110 mi.
582 ft. **Site 6 of 6 in cluster D**

Relative: EDR Historical Auto Stations:
Higher Name: GRAYS RED CITIES SERV STA
 Year: 1965
Actual: Type: GASOLINE STATIONS
130 ft.

G49 **NYSDOT BIN109283A** **FINDS** **1016252217**
NNE **I90 WB OVER LAND** **ECHO** **N/A**
< 1/8 **ALBANY, NY 12204**
0.120 mi.
636 ft. **Site 2 of 3 in cluster G**

Relative: FINDS:
Lower

Registry ID: 110008064548

Actual: Environmental Interest/Information System
0 ft. RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

ECHO:
 Envid: 1016252217
 Registry ID: 110008064548
 DFR URL: http://echo.epa.gov/detailed_facility_report?fid=110008064548

G50 **NYSDOT BIN 109283B** **FINDS** **1016252218**
NNE **I-90 EB OVER LAND** **ECHO** **N/A**
1/8-1/4 **ALBANY, NY 12204**
0.127 mi.
668 ft. **Site 3 of 3 in cluster G**

Relative: FINDS:
Lower

Registry ID: 110008064557

Actual: Environmental Interest/Information System
1 ft. RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

ECHO:
 Envid: 1016252218
 Registry ID: 110008064557

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 109283B (Continued)

1016252218

DFR URL: http://echo.epa.gov/detailed_facility_report?fid=110008064557

H51
East
1/8-1/4
0.131 mi.
690 ft.

BILLS GARAGE
1 PATTEN AVE
RENSSELAER, NY

EDR Hist Auto **1014930745**
N/A

Site 1 of 5 in cluster H

Relative:
Higher

EDR Historical Auto Stations:

Name: **BILLS GARAGE**

Year: **1965**

Actual:
153 ft.

Type: **AUTOMOBILE REPAIRING**

H52
ESE
1/8-1/4
0.131 mi.
691 ft.

BAGR II RES 4TH ST
1801 4TH ST
RENSSELAER, NY

NY Spills **S106007928**
N/A

Site 2 of 5 in cluster H

Relative:
Higher

SPILLS:

Facility ID: **0206733**

Facility Type: **ER**

DER Facility ID: **66526**

Site ID: **70028**

DEC Region: **4**

Spill Date: **2002-09-29**

Spill Number/Closed Date: **0206733 / 2002-10-02**

Spill Cause: **Deliberate**

Spill Class: **Known release that creates potential for fire or hazard. DEC Response.**

Willing Responsible Party. Corrective action taken.

SWIS: **4214**

Investigator: **WEBLAIN**

Referred To: **Not reported**

Reported to Dept: **2002-09-29**

CID: **398**

Water Affected: **Not reported**

Spill Source: **Private Dwelling**

Spill Notifier: **Citizen**

Cleanup Ceased: **Not reported**

Cleanup Meets Std: **False**

Last Inspection: **2002-09-30**

Recommended Penalty: **False**

UST Trust: **False**

Remediation Phase: **0**

Date Entered In Computer: **2002-09-29**

Spill Record Last Update: **2002-10-02**

Spiller Name: **ANTHONY PEREZ**

Spiller Company: **RESIDENCE**

Spiller Address: **SAME *** "1801 4TH ST**

Spiller City,St,Zip: **RENSSELAER, ZZ**

Spiller Company: **001**

Contact Name: **ANTHONY PEREZ**

Contact Phone: **(518) 427-1922**

DEC Memo: **"Prior to Sept, 2004 data translation this spill Lead_DEC Field was
BLAIN 9/30/02 Blain onsite. Dinner plate sized stain next to house
foundation. closed [COMPUTER SEARCH FINDS NO MATCH FOR CALLER; ELENA**

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

BAGRII RES 4TH ST (Continued)

S106007928

Remarks: & VLADIMIR BAGRII (NOT BARGI) AT 1801 4th St Rens, 432-4633 (& MARILYN FRAZIER, 463-7295)]"
 "caller states subj at residence is dumping product(s) behind his house after cahnging [SP] oil or anything else on his car. resi: bargi is subj doing spill."

Material:

Site ID:	70028
Operable Unit ID:	858491
Operable Unit:	01
Material ID:	517331
Material Code:	0015
Material Name:	motor oil
Case No.:	Not reported
Material FA:	Petroleum
Quantity:	.00
Units:	Gallons
Recovered:	.00
Resource Affected:	Not reported
Oxygenate:	Not reported
Site ID:	70028
Operable Unit ID:	858491
Operable Unit:	01
Material ID:	517332
Material Code:	0043A
Material Name:	antifreeze
Case No.:	Not reported
Material FA:	Other
Quantity:	.00
Units:	Gallons
Recovered:	.00
Resource Affected:	Not reported
Oxygenate:	Not reported

Tank Test:

Site ID:	70028
Spill Tank Test:	1527515
Tank Number:	Not reported
Tank Size:	0
Test Method:	00
Leak Rate:	.00
Gross Fail:	Not reported
Modified By:	Spills
Last Modified:	Not reported
Test Method:	Unknown

**H53
 ESE
 1/8-1/4
 0.136 mi.
 717 ft.**

**NIMO TRANSFORMER WASHINGTON
 63 WASHINGTON AVE
 RENSSELAER, NY
 Site 3 of 5 in cluster H**

**NY Spills S106015665
 N/A**

**Relative:
 Higher**

SPILLS:
 Facility ID: 0303461
 Facility Type: ER
 DER Facility ID: 275710
 Site ID: 177309

**Actual:
 151 ft.**

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NIMO TRANSFORMER WASHINGTON (Continued)

S106015665

DEC Region: 4
Spill Date: 2003-07-02
Spill Number/Closed Date: 0303461 / 2003-11-13
Spill Cause: Equipment Failure
Spill Class: Known release with minimal potential for fire or hazard. DEC Response.
Willing Responsible Party. Corrective action taken.
SWIS: 4214
Investigator: WEBLAIN
Referred To: Not reported
Reported to Dept: 2003-07-02
CID: 257
Water Affected: Not reported
Spill Source: Commercial/Industrial
Spill Notifier: Responsible Party
Cleanup Ceased: Not reported
Cleanup Meets Std: True
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 2003-07-02
Spill Record Last Update: 2009-02-06
Spiller Name: CHRIS READ
Spiller Company: NIAGARA MOHAWK NIMO
Spiller Address: 1125 BROADWAY
Spiller City,St,Zip: ALBANY, NY -
001
Contact Name: MATTHEW LAFONTAINE
Contact Phone: (518) 356-6471
DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was
BLAIN 11/03 NIMO reports factory labeled non-pcb. Cleanup complete. "
Remarks: "cleaned up by hazmat"
Material:
Site ID: 177309
Operable Unit ID: 871495
Operable Unit: 01
Material ID: 504328
Material Code: 0541A
Material Name: dielectric fluid
Case No.: Not reported
Material FA: Petroleum
Quantity: 1.00
Units: Gallons
Recovered: 1.00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Database(s)
 EDR ID Number
 EPA ID Number

H54 **LAUNDERAMA SELF SERV** **EDR Hist Cleaner** **1014929337**
ESE **63 WASHINGTON AVE** **N/A**
1/8-1/4 **RENSSELAER, NY**
0.136 mi.
717 ft. **Site 4 of 5 in cluster H**

Relative: EDR Historical Cleaners:
Higher Name: LEONARDS CLEANERS
 Year: 1960
Actual: Type: CLEANERS AND DYERS
151 ft.
 Name: LAUNDERAMA SELF SERV
 Year: 1965
 Type: LAUNDRIES-SELF SERVE

F55 **2ND @ CHURCH SEWER FIRE** **NY Spills** **S102114945**
South **2ND ST @ CHURCH ST** **N/A**
1/8-1/4 **RENSSELAER, NY**
0.138 mi.
726 ft. **Site 3 of 3 in cluster F**

Relative: SPILLS:
Higher Facility ID: 9303544
 Facility Type: ER
Actual: DER Facility ID: 202227
97 ft. Site ID: 246240
 DEC Region: 4
 Spill Date: 1993-06-17
 Spill Number/Closed Date: 9303544 / 1993-06-18
 Spill Cause: Unknown
 Spill Class: Known release that creates potential for fire or hazard. DEC Response.
 Unable/unwilling Responsible Party. Corrective action taken. (ISR)
 SWIS: 4214
 Investigator: WEBLAIN
 Referred To: Not reported
 Reported to Dept: 1993-06-17
 CID: Not reported
 Water Affected: Not reported
 Spill Source: Unknown
 Spill Notifier: Police Department
 Cleanup Ceased: 1993-06-17
 Cleanup Meets Std: True
 Last Inspection: 1993-06-17
 Recommended Penalty: False
 UST Trust: False
 Remediation Phase: 0
 Date Entered In Computer: 1993-06-18
 Spill Record Last Update: 2010-12-09
 Spiller Name: Not reported
 Spiller Company: UNK
 Spiller Address: Not reported
 Spiller City,St,Zip: ***UPDATE***, ZZ
 Spiller Company: 999
 Contact Name: Not reported
 Contact Phone: Not reported
 DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was
 BLAIN "
 Remarks: "FIRE & EVACUATION. 17:52-PNB TELECON W/DPD, FIRE IN SEWER, REACTS
 W/H2O , REFD TO TK [VIA BLAIN]. 19:00-BLAIN, HOY @ SITE, SM QUAN
 CAUSTIC, CH CLEANED FROM BASIN, FD FLUSHED. HAZ MAT?"

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

2ND @ CHURCH SEWER FIRE (Continued)

S102114945

Material:
Site ID: 246240
Operable Unit ID: 985374
Operable Unit: 01
Material ID: 397106
Material Code: 0064A
Material Name: unknown material
Case No.: Not reported
Material FA: Other
Quantity: .00
Units: Pounds
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

H56
East
1/8-1/4
0.155 mi.
821 ft.

13 PATTEN AVE -- GARAGE
13 PATTEN AVE
RENSSELAER, NY

NY Spills S104653132
N/A

Site 5 of 5 in cluster H

Relative:
Higher

SPILLS:
Facility ID: 0002443
Facility Type: ER
DER Facility ID: 129573
Site ID: 152656
DEC Region: 4
Spill Date: 2000-05-26
Spill Number/Closed Date: 0002443 / 2004-11-02
Spill Cause: Other
Spill Class: Known release that creates potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.

Actual:
151 ft.

SWIS:
Investigator: WEBLAIN
Referred To: Not reported
Reported to Dept: 2000-05-27
CID: 398
Water Affected: Not reported
Spill Source: Unknown
Spill Notifier: Citizen
Cleanup Ceased: 2004-11-02
Cleanup Meets Std: True
Last Inspection: 2000-05-26
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 2000-05-27
Spill Record Last Update: 2004-11-02
Spiller Name: SAME
Spiller Company: TOM CARNEY
Spiller Address: 1623 FOURTH ST
Spiller City,St,Zip: RENSSELAER, NY 12144-001
Contact Name: RICHARD MAYOU

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

13 PATTEN AVE -- GARAGE (Continued)

S104653132

Contact Phone: (518) 462-4772
DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was KOCH/BLAIN 5/27/00 RECEIVED THE CALL AT 5:09. SPILL WAS DISCOVERED YESTERDAY. ABANDONED GARAGE WITH PIPE STICKING OUT OF THE GROUND. CALLED SATATED THAT AN OILY PRODUCT WAS DISCHARGING FROM THE PIPE. CONTACTED T.K. AND HE WILL RESPOND TO THE SITE. (JY) 5/26/00 TK onsite. Old Waste oil tank in back of a burned out garage. All that's left is foundation. Mr Carney says he hasn't paid taxes in 20 years, and hopes he doesn't own it any more. 5/31 Blain contacted Pete Mancini, 462-9616, Rens. Bldg. Insp., who said he'd check ownership. Tank full, in danger of coming out onto ground from rainwater infiltration. 9/18 Called Mancini for update. He no longer works there. Dep. Comm. Public Works Raymond Roberts will call back.469-0521 OR 462-9616. Best #462-5512. He called me 9/17, 9/19, Called him 9/21. Ray Roberts states that property is owned by T&P Rubbish Removal. That is Tom Carney and Pete Corellis. City of Rens. took property for back taxes. 5/14/03 Letter sent asking Rens. City for action on tank. 6/03 Rensselaer DPW Don Butler says will do. 6/19/03 Blain onsite. Marked old tank. 8/1/03 Blain met Butler onsite DPW Willow St. on another matter. Butler said that the City is reverting the property back to previous owners. Will provide names & address. 9/04 Last chance letter sent to City. 10/04 Met w Ed Kosinski, Chris Eastman, City will pull tank. 11/01/04 Tank out no contaminated soil. closed folder "
Remarks: "BURNED GARAGE NEXT TO CALLERS HOME SEEMS TO HAVE A LEAK COMING FROM THE GROUND. SMELLS [SP] LIKE DIESEL BUT IS BLACK IN COLOR. POSSIBLE UNDERGROUND PIPE LINE. CALL BACK REQUESTED."

Material:

Site ID: 152656
Operable Unit ID: 823959
Operable Unit: 01
Material ID: 550803
Material Code: 0022
Material Name: waste oil/used oil
Case No.: Not reported
Material FA: Petroleum
Quantity: 1.00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

Site ID: 152656
Spill Tank Test: 1525640
Tank Number: Not reported
Tank Size: 0
Test Method: 00
Leak Rate: .00
Gross Fail: Not reported
Modified By: Spills
Last Modified: Not reported
Test Method: Unknown

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

I57
WSW
1/8-1/4
0.158 mi.
833 ft.

HUDSON RIVER SHEEN BARGE
HUDSON RIVER @AMTRAK BRIDGE
ALBANY, NY

NY Spills **S110309236**
N/A

Site 1 of 2 in cluster I

Relative:
Lower

SPILLS:

Actual:
0 ft.

Facility ID:	8803943
Facility Type:	ER
DER Facility ID:	232529
Site ID:	287056
DEC Region:	4
Spill Date:	1988-08-04
Spill Number/Closed Date:	8803943 / 1988-08-30
Spill Cause:	Unknown
Spill Class:	Known release that creates a file or hazard. (Minimal Occurrence)
SWIS:	0101
Investigator:	ANGEISEN
Referred To:	Not reported
Reported to Dept:	1988-08-04
CID:	Not reported
Water Affected:	HUDSON RIVER \$
Spill Source:	Vessel
Spill Notifier:	Citizen
Cleanup Ceased:	1988-08-04
Cleanup Meets Std:	True
Last Inspection:	1988-08-04
Recommended Penalty:	False
UST Trust:	False
Remediation Phase:	0
Date Entered In Computer:	1988-08-30
Spill Record Last Update:	2013-10-30
Spiller Name:	Not reported
Spiller Company:	UNKNOWN BARGE?
Spiller Address:	Not reported
Spiller City,St,Zip:	NY
Spiller Company:	999
Contact Name:	Not reported
Contact Phone:	Not reported
DEC Memo:	"Prior to Sept, 2004 data translation this spill Lead_DEC Field was GEISENDORFER 08/04/88: GEISENDORFER AT RIVER, NO SLICK. LT. GREGORY-NOTHING IN HUDSON AREA. "
Remarks:	"CALLER SAW APPARENT SLICK ON RIVER NEAR AMTRAK BRIDGE, BARGE GOING S IN VICINITY (BARGE HAD BLACK HULL, RED ON TOP, 2 TUGS, 1 BLACK & WHITE, 1 BLACK & RED). NOTIFIED REG 3 & ECOS."

Material:

Site ID:	287056
Operable Unit ID:	921111
Operable Unit:	01
Material ID:	459465
Material Code:	0066A
Material Name:	unknown petroleum
Case No.:	Not reported
Material FA:	Petroleum
Quantity:	.00
Units:	Gallons
Recovered:	.00
Resource Affected:	Not reported
Oxygenate:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HUDSON RIVER SHEEN BARGE (Continued)

S110309236

Tank Test:

I58
WSW
1/8-1/4
0.158 mi.
833 ft.

MORANIA BARGE 210 HUDSON RIVER
HUDSON RIVER @ RR BRIDGE
ALBANY, NY

NY Spills S103035088
N/A

Site 2 of 2 in cluster I

Relative:
Lower

Actual:
0 ft.

SPILLS:

Facility ID: 9403076
Facility Type: ER
DER Facility ID: 81390
Site ID: 89062
DEC Region: 4
Spill Date: 1994-06-02
Spill Number/Closed Date: 9403076 / 1994-06-21
Spill Cause: Human Error
Spill Class: Known release that creates a file or hazard. (Not Possible)
SWIS: 0101
Investigator: WTCHRIST
Referred To: Not reported
Reported to Dept: 1994-06-02
CID: Not reported
Water Affected: HUDSON RIVER \$
Spill Source: Vessel
Spill Notifier: Federal Government
Cleanup Ceased: 1994-06-02
Cleanup Meets Std: True
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 1994-06-21
Spill Record Last Update: 2010-03-26
Spiller Name: Not reported
Spiller Company: MORANIA BARGE 210
Spiller Address: Not reported
Spiller City,St,Zip: ZZ
Spiller Company: 001
Contact Name: Not reported
Contact Phone: Not reported
DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was CHRISTENSEN SEE 7901074, 8901888, 9004915, 9006447, 9104901, 9203868. MORANIA OIL TANKER CORP, 4 STAMFORD FORUM TRESSER BLVD, STAMFORD, CT 06901 (NOT MAURANIA). "

Remarks:

"BARGE HIT BRIDGE, NO RELEASE, PROCEEDED TO KING FUELS, USCG BOAT WATCHING OFF-LOAD, USCG HELICOPTER EN ROUTE TO INSP BARGE. NO DEC RESPONSE."

Material:

Site ID: 89062
Operable Unit ID: 1000095
Operable Unit: 01
Material ID: 383248
Material Code: 0004B
Material Name: blacktop
Case No.: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MORANIA BARGE 210 HUDSON RIVER (Continued)

S103035088

Material FA: Petroleum
Quantity: .00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

J59
SSE
1/8-1/4
0.158 mi.
835 ft.

STEESE RES 3RD ST
1566 3RD ST
RENSSELAER, NY
Site 1 of 2 in cluster J

NY Spills **S109414572**
N/A

Relative:
Higher

SPILLS:

Facility ID: 0811526
Facility Type: ER
DER Facility ID: 358357
Site ID: 409103
DEC Region: 4
Spill Date: 2009-01-20
Spill Number/Closed Date: 0811526 / 2009-01-27
Spill Cause: Equipment Failure
Spill Class: Known release with minimal potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.

Actual:
162 ft.

SWIS: 4214
Investigator: ajkokock
Referred To: Not reported
Reported to Dept: 2009-01-20
CID: Not reported
Water Affected: Not reported
Spill Source: Private Dwelling
Spill Notifier: Responsible Party
Cleanup Ceased: Not reported
Cleanup Meets Std: False
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 2009-01-20
Spill Record Last Update: 2009-01-27
Spiller Name: BILL BRUNDIGE, JH BURMASTER
Spiller Company: JH BUHRMASTER
Spiller Address: Not reported
Spiller City,St,Zip: SCOTIA, NY
Spiller Company: 999
Contact Name: BILL BRUNDIGE
Contact Phone: (518) 382-0260
DEC Memo: "2009-01-20 TK called Bill Brundige - Bhurmaster. spill is considered a small overfill at vent. Oil company was unable to access basment. No one was home. TK will try to follow up with home owner. 2009-01-27 Mike Steese returned call and informed Tony K. no petroleum spilled in basement. File Closed. "

Remarks:

"CALLER STATES THAT THERE WAS NO VENT ALARM SOUNDING AND ABOUT A GALLON SPILLED TO SNOW. CLEAN UP WAS DONE. UNK IF THERE IS ANY

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

STEESE RES 3RD ST (Continued)

S109414572

PRODUCT WAS SPILLED INSIDE, HOME OWNER WAS NOT HOME. NUMBER TO THE RESIDENCE IS 518-465-4399."

Material:
 Site ID: 409103
 Operable Unit ID: 1165608
 Operable Unit: 01
 Material ID: 2157028
 Material Code: 0001A
 Material Name: #2 fuel oil
 Case No.: Not reported
 Material FA: Petroleum
 Quantity: 1.00
 Units: Gallons
 Recovered: .00
 Resource Affected: Not reported
 Oxygenate: Not reported

Tank Test:

K60
SSW
1/8-1/4
0.168 mi.
886 ft.

NAT GRID TRUCK 1ST ST
1219 1ST ST
RENSSELAER, NY
Site 1 of 2 in cluster K

NY Spills S113494049
N/A

Relative:
Higher

Actual:
107 ft.

SPILLS:
 Facility ID: 1301551
 Facility Type: ER
 DER Facility ID: 437195
 Site ID: 481942
 DEC Region: 4
 Spill Date: 2013-05-15
 Spill Number/Closed Date: 1301551 / 2013-07-16
 Spill Cause: Equipment Failure
 Spill Class: Known release with minimal potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.

SWIS:
 4214
 Investigator: pnbentie
 Referred To: Not reported
 Reported to Dept: 2013-05-15
 CID: Not reported
 Water Affected: Not reported
 Spill Source: Commercial Vehicle
 Spill Notifier: Responsible Party
 Cleanup Ceased: Not reported
 Cleanup Meets Std: True
 Last Inspection: Not reported
 Recommended Penalty: False
 UST Trust: False
 Remediation Phase: 0
 Date Entered In Computer: 2013-05-15
 Spill Record Last Update: 2013-07-16
 Spiller Name: Not reported
 Spiller Company: NAT GRID
 Spiller Address: Not reported
 Spiller City,St,Zip: NY

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

NAT GRID TRUCK 1ST ST (Continued)

S113494049

Spiller Company: 999
 Contact Name: BARB
 Contact Phone: (518) 433-3696
 DEC Memo: "7/10/13 - per e-mail from Barb Scheurer: hydraulic oil, complete, cleaned by NG. "
 Remarks: "spill to paved roadway/clean up crew en route"
 Material:
 Site ID: 481942
 Operable Unit ID: 1231696
 Operable Unit: 01
 Material ID: 2230469
 Material Code: 0010
 Material Name: hydraulic oil
 Case No.: Not reported
 Material FA: Petroleum
 Quantity: 5.00
 Units: Gallons
 Recovered: Not reported
 Resource Affected: Not reported
 Oxygenate: Not reported

Tank Test:

61
South
1/8-1/4
0.170 mi.
897 ft.

OIL ON RD 3RD ST
1499 3RD ST
RENSSELAER, NY

NY Spills S102113289
N/A

Relative:
Higher

SPILLS:

Actual:
155 ft.

Facility ID: 8801538
 Facility Type: ER
 DER Facility ID: 167835
 Site ID: 201722
 DEC Region: 4
 Spill Date: 1988-05-19
 Spill Number/Closed Date: 8801538 / 1988-06-15
 Spill Cause: Unknown
 Spill Class: Known release with minimal potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.
 SWIS: 4214
 Investigator: TESPERBE
 Referred To: Not reported
 Reported to Dept: 1988-05-19
 CID: Not reported
 Water Affected: Not reported
 Spill Source: Unknown
 Spill Notifier: Citizen
 Cleanup Ceased: 1988-05-19
 Cleanup Meets Std: True
 Last Inspection: 1988-05-19
 Recommended Penalty: False
 UST Trust: False
 Remediation Phase: 0
 Date Entered In Computer: 1988-06-15
 Spill Record Last Update: 1998-11-24

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

OIL ON RD 3RD ST (Continued)

S102113289

Spiller Name: Not reported
Spiller Company: UNKNOWN
Spiller Address: Not reported
Spiller City,St,Zip: NY
Spiller Company: 999
Contact Name: Not reported
Contact Phone: Not reported
DEC Memo: "Prior to Sept, 2004 data translation this spill Lead_DEC Field was SPERBECK "
Remarks: "OIL ON ROAD OUTSIDE HOUSE AND CAR SPLASHING ON HOUSE CALLED CITY AT SCENE"

Material:

Site ID: 201722
Operable Unit ID: 917021
Operable Unit: 01
Material ID: 460678
Material Code: 0066A
Material Name: unknown petroleum
Case No.: Not reported
Material FA: Petroleum
Quantity: .00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

62
South
1/8-1/4
0.193 mi.
1018 ft.

LINDSAY MAJORIE RESIDENCE
1431 3RD ST
RENSSELAER, NY 12144

RCRA NonGen / NLR 1001125042
FINDS NYR000034520
MANIFEST
ECHO

Relative:
Higher

RCRA NonGen / NLR:

Date form received by agency: 01/01/2007
Facility name: LINDSAY MAJORIE RESIDENCE
Facility address: 1431 3RD ST
RENSSELAER, NY 121441724
EPA ID: NYR000034520
Mailing address: 3RD ST
RENSSELAER, NY 12144
Contact: Not reported
Contact address: 3RD ST
RENSSELAER, NY 12144
Contact country: US
Contact telephone: Not reported
Contact email: Not reported
EPA Region: 02
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: MAJORIE LINDSAY
Owner/operator address: 1431 3RD ST

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LINDSAY MAJORIE RESIDENCE (Continued)

1001125042

RENSSELAER, NY 12144
Owner/operator country: US
Owner/operator telephone: (518) 477-7556
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: MAJORIE LINDSAY
Owner/operator address: 1431 3RD ST
RENSSELAER, NY 12144
Owner/operator country: US
Owner/operator telephone: (518) 477-7556
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 01/01/2006
Site name: LINDSAY MAJORIE RESIDENCE
Classification: Not a generator, verified

Date form received by agency: 07/08/1999
Site name: LINDSAY MAJORIE RESIDENCE
Classification: Not a generator, verified

Date form received by agency: 01/14/1997
Site name: LINDSAY MAJORIE RESIDENCE
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

. Waste code: D003
. Waste name: REACTIVE WASTE

. Waste code: P098
. Waste name: POTASSIUM CYANIDE (OR) POTASSIUM CYANIDE K(CN)

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LINDSAY MAJORIE RESIDENCE (Continued)

1001125042

. Waste code: P106
. Waste name: SODIUM CYANIDE (OR) SODIUM CYANIDE NA(CN)

Violation Status: No violations found

FINDS:

Registry ID: 110004531702

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

NY MANIFEST:

Country: USA
EPA ID: NYR000034520
Facility Status: Not reported
Location Address 1: 1431 3RD ST
Code: BP
Location Address 2: Not reported
Total Tanks: Not reported
Location City: RENSSELAER
Location State: NY
Location Zip: 12144
Location Zip 4: 1724

NY MANIFEST:

EPAID: NYR000034520
Mailing Name: LINDSAY RESIDENCE
Mailing Contact: MARJORIE LINDSAY
Mailing Address 1: 1431 3RD ST
Mailing Address 2: Not reported
Mailing City: RENSSELAER
Mailing State: NY
Mailing Zip: 12144
Mailing Zip 4: 1724
Mailing Country: USA
Mailing Phone: 5184777556

NY MANIFEST:

Document ID: NJA2729557
Manifest Status: K
seq: Not reported
Year: 1997
Trans1 State ID: S50060
Trans2 State ID: 500602426
Generator Ship Date: 01/21/1997
Trans1 Recv Date: 01/21/1997
Trans2 Recv Date: 01/23/1997
TSD Site Recv Date: 01/29/1997
Part A Recv Date: 02/06/1997
Part B Recv Date: 02/27/1997

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LINDSAY MAJORIE RESIDENCE (Continued)

1001125042

Generator EPA ID: NYR000034520
Trans1 EPA ID: NYD980761191
Trans2 EPA ID: NYD980761191
TSDf ID 1: NJD002200046
TSDf ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D003 - NON-LISTED REACTIVE WASTES
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00200
Units: P - Pounds
Number of Containers: 001
Container Type: DM - Metal drums, barrels
Handling Method: T Chemical, physical, or biological treatment.
Specific Gravity: 100
Waste Code: P098 - POTASSIUM CYANIDE
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00050
Units: P - Pounds
Number of Containers: 001
Container Type: DF - Fiberboard or plastic drums (glass)
Handling Method: T Chemical, physical, or biological treatment.
Specific Gravity: 100
Waste Code: D002 - NON-LISTED CORROSIVE WASTES
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00100
Units: P - Pounds
Number of Containers: 001
Container Type: DF - Fiberboard or plastic drums (glass)
Handling Method: T Chemical, physical, or biological treatment.
Specific Gravity: 100

ECHO:

Envid: 1001125042
Registry ID: 110004531702
DFR URL: http://echo.epa.gov/detailed_facility_report?fid=110004531702

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

63
 NNW
 1/8-1/4
 0.203 mi.
 1073 ft.

I-787 BEFORE I-90 RAMP
I-787 N BEFORE I-90 RAMP
ALBANY, NY 12207

NY Spills S107658222
N/A

Relative:
Lower

SPILLS:

Facility ID: 0515036
 Facility Type: ER
 DER Facility ID: 312163
 Site ID: 361902
 DEC Region: 4
 Spill Date: 2006-03-31
 Spill Number/Closed Date: 0515036 / 2006-04-03
 Spill Cause: Traffic Accident
 Spill Class: Known release with minimal potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.

Actual:
5 ft.

SWIS: 0101
 Investigator: WTCHRIST
 Referred To: Not reported
 Reported to Dept: 2006-03-31
 CID: 409
 Water Affected: Not reported
 Spill Source: Passenger Vehicle
 Spill Notifier: Police Department
 Cleanup Ceased: Not reported
 Cleanup Meets Std: False
 Last Inspection: Not reported
 Recommended Penalty: False
 UST Trust: False
 Remediation Phase: 0
 Date Entered In Computer: 2006-03-31
 Spill Record Last Update: 2006-04-03
 Spiller Name: UNKNOWN
 Spiller Company: UNKNOWN] (CAR)
 Spiller Address: UNKNOWN
 Spiller City,St,Zip: UNKNOWN, ZZ
 Spiller Company: 999
 Contact Name: TRACIE PRUSKY
 Contact Phone: (518) 365-6829
 DEC Memo: "04/03/06 - No Dec response. Fire Dept. took care of spill. wtc"
 Remarks: "CAR RAN OVER HUB CAP AND RUPTURED TANK. CLEAN UP IS IN ROUTE. FIRE DEPT"

Material:

Site ID: 361902
 Operable Unit ID: 1120015
 Operable Unit: 01
 Material ID: 2109495
 Material Code: 0009
 Material Name: gasoline
 Case No.: Not reported
 Material FA: Petroleum
 Quantity: Not reported
 Units: Gallons
 Recovered: .00
 Resource Affected: Not reported
 Oxygenate: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

I-787 BEFORE I-90 RAMP (Continued)

S107658222

Tank Test:

K64
SSW
1/8-1/4
0.208 mi.
1097 ft.

JOES AUTO REPAIRS
1125 BROADWAY ST
RENSSELAER, NY 12144

EDR Hist Auto **1014929876**
N/A

Site 2 of 2 in cluster K

Relative:
Higher

EDR Historical Auto Stations:

Name: JOES AUTO REPAIRS
 Year: 1971
 Type: AUTOMOBILE REPAIRING

Actual:
52 ft.

J65
SSE
1/8-1/4
0.216 mi.
1138 ft.

MILLER RES 4TH ST
1546 4TH ST
RENSSELAER, NY

NY Spills **S111317345**
N/A

Site 2 of 2 in cluster J

Relative:
Higher

SPILLS:

Facility ID: 1108333
 Facility Type: ER
 DER Facility ID: 410620
 Site ID: 456059
 DEC Region: 4
 Spill Date: 2011-09-29
 Spill Number/Closed Date: 1108333 / 2012-04-04
 Spill Cause: Equipment Failure
 Spill Class: Known release that creates potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.

Actual:
178 ft.

SWIS:

Investigator: JDUTBERG
 Referred To: Not reported
 Reported to Dept: 2011-09-29
 CID: Not reported
 Water Affected: Not reported
 Spill Source: Private Dwelling
 Spill Notifier: Other
 Cleanup Ceased: Not reported
 Cleanup Meets Std: False
 Last Inspection: Not reported
 Recommended Penalty: False
 UST Trust: False
 Remediation Phase: 0
 Date Entered In Computer: 2011-09-29
 Spill Record Last Update: 2012-07-12
 Spiller Name: ILENE MILLER (EILEEN?)
 Spiller Company: EILEEN MILLER
 Spiller Address: Not reported
 Spiller City,St,Zip: NY
 Spiller Company: 999
 Contact Name: MATT POLSINELLO
 Contact Phone: Not reported
 DEC Memo: "9/30/11 JDU and MF on site. Basement wall is deteriorating and colapsing into the basement. This allowed rain water to run into the

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MILLER RES 4TH ST (Continued)

S111317345

basement and turn the dirt floor into mud. The bricks that the tank was sitting on sank in the mud and the tank slipped off the bricks causing the filter to hit the ground and break. The fuel oil company was called and placed a vacuum on the tank to stop the slow leak. Eventually 120 gal of oil was pumped into a temporary storage container. Estimated 50 gal loss. Pulsinello Fuels did place speedy dry on dirt floor the night of the spill. Pulsinello Fuels also placed the tank on new legs and larger blocks to ensure it would not tip again. Pulsinello also scraped up the top layer of impacted soil with the speedy dry then placed poly on the ground and ran a vent fan out the side of the basement. Basement does have strong odors but the rest of the house is not impacted. Homeowner - Eileen Miller 436-9269 Insurance- Travelers Ins. Claim #HJF2017 (800)223-4820 Adjuster- Richard Maura Policy # 114343633 632 1 10/4/11 JDU on site. Basement has slight odors but has improved. Homeowner has no complaint of odors in the house. Pulsinello Fuels removed a small amount of soil and placed it on poly in the back yard. 10/5/11 Contacted Eileen Miller the homeowner. Informed her that soil could not be removed from the basement due to the condition of the foundation. She is not concerned about leaving soil in the basement and has had no odor issues in the house. House is supplied with municipal water so no drinking water issues exist. Will contact DOH to confirm the soil can be left in basement. - JDU 10/13/11 telcom with Matt Pulsinello. They are disposing of the loose soil today and plan to pump the oil from the temporary container back into the tank shortly. The vent fan is still blowing in the basement. Pulsinello Fuels is doing the minor cleanup work without charging the homeowner. Pulsinello said that they would leave the fan in the basement until they heard back from DEC about what the cleanup plan would be. -JDU 10/14/11 Spill forwarded to DOH. Told Mike Hughes that it was unsafe to work in the basement due to the wall caving in. Asked if he would review the spill and let us know if there were any concerns or objections to us closing the spill as not meeting standards. JDU 1/23/2012 Heard from Mike Houghes DOH. Can't get a hold of homeowner. He was ok with closing spill. JDU Spill closed."

Remarks: "Caller advised filter broke off of tank and spilled aprx 30 gallons into soil in the basement. Clean up is in progress."

Material:

Site ID: 456059
Operable Unit ID: 1206205
Operable Unit: 01
Material ID: 2203243
Material Code: 0001A
Material Name: #2 fuel oil
Case No.: Not reported
Material FA: Petroleum
Quantity: 30.00
Units: Gallons
Recovered: Not reported
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

L66 **VAN RENSSELAER ELEM SCHOOL** **FINDS** **1007795371**
East **199 WASHINGTON AVE**
1/8-1/4 **RENSSELAER, NY 12144**
0.225 mi.
1190 ft. **Site 1 of 2 in cluster L**

Relative:
Higher

FINDS:

Registry ID: 110019578795

Actual:
162 ft.

Environmental Interest/Information System

FIS (New York - Facility Information System) is New York's Department of Environmental Conservation (DEC) information system for tracking environmental facility information found across the State.

L67 **VAN RENSSELAER SCHOOL WASHINGTON AVE** **NY Spills** **S109205511**
East **199 WASHINGTON AVE (@ FORBES AVE)** **N/A**
1/8-1/4 **RENSSELAER, NY**
0.225 mi.
1190 ft. **Site 2 of 2 in cluster L**

Relative:
Higher

SPILLS:

Facility ID: 0803334

Facility Type: ER

Actual:
162 ft.

DER Facility ID: 349362

Site ID: 400055

DEC Region: 4

Spill Date: 2008-06-20

Spill Number/Closed Date: 0803334 / 2009-01-12

Spill Cause: Other

Spill Class: Known release that creates potential for fire or hazard. DEC Response. Willing Responsible Party. Corrective action taken.

SWIS: 4214

Investigator: WEBLAIN

Referred To: Not reported

Reported to Dept: 2008-06-20

CID: 444

Water Affected: Not reported

Spill Source: Institutional, Educational, Gov., Other

Spill Notifier: Other

Cleanup Ceased: Not reported

Cleanup Meets Std: True

Last Inspection: 2008-07-30

Recommended Penalty: False

UST Trust: Not reported

Remediation Phase: 0

Date Entered In Computer: 2008-06-20

Spill Record Last Update: 2014-07-11

Spiller Name: STEVE SPRINGER

Spiller Company: VAN RENSSELAER SCHOOL

Spiller Address: 199 WASHINGTON AVE

Spiller City,St,Zip: RENSSELAER, NY

Spiller Company: 001

Contact Name: STEVE SPRINGER

Contact Phone: (518) 858-2662

DEC Memo: "MF spoke to Mark Schnitzer. Oil was found in sump in boiler room during an audit. Apparently there was once a 6 oil tank at the school that has not been used for 20 yrs. They are unaware of how long the oil has been in the sump. Albany tank services is on scene pumping

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

VAN RENSSELAER SCHOOL WASHINGTON AVE (Continued)

S109205511

the water and oil from the sump. I advised them that if oil continues to enter pump, additional work will be required today. Otherwise, the plan is to remove all the oil from the sump and dig out the contamination from the bottom of the sump. The sump area will then be examined for any signs of additional oil. The additional investigation will take place next week. 7/23/08 Blain onsite. Met w Rens. school officials, Schnitzer, Doane Stewart (the new purchaser to be) and Albany Tank. Small blobs of oil on the GW that infiltrated. Albany Tank vacced out pit and removed some clay/oily residue. Will conduct modest investigation. Tank was removed in 1981.(PBS 4-424021) Unlikely to be much of an issue. Investigation revealed residual contamination which will be addressed via excavation. Minor area of contamination in area of tank removal more than a decade ago. 11/08 Schnitzer reports soil dug out, narrow band next to bldg. followed plugged/semi plugged footing drain around part of bldg. Petering out. Closure acceptable to both buyer and seller. Residual minor. DEC is awaiting report. 1/09 Got (see Edocs). closed letter sent. (PBS 4-424021)"

Remarks: "DISCOVERED IN SUMP AND CONTRACTOR ON SITE PUMPING AT THIS TIME, STILL INVESTIGATING"

Material:

Site ID: 400055
Operable Unit ID: 1156900
Operable Unit: 01
Material ID: 2147892
Material Code: 0003A
Material Name: #6 fuel oil
Case No.: Not reported
Material FA: Petroleum
Quantity: .00
Units: Gallons
Recovered: .00
Resource Affected: Not reported
Oxygenate: Not reported

Tank Test:

68
WSW
1/8-1/4
0.229 mi.
1210 ft.

**NYSDOT BIN 1092882
I-787 COLONIE ST NB
ALBANY, NY 12208**

**FINDS 1016252507
ECHO N/A**

Relative:
Lower

FINDS:

Registry ID: 110008068063

Actual:
8 ft.

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

NYS DOT BIN 1092882 (Continued)

1016252507

ECHO:

Envid: 1016252507
 Registry ID: 110008068063
 DFR URL: http://echo.epa.gov/detailed_facility_report?fid=110008068063

M69
WSW
1/8-1/4
0.238 mi.
1256 ft.

NYS DOT BIN 1092881
787 BRG OVER COLONIE ST
ALBANY, NY 12208

RCRA NonGen / NLR
FINDS
MANIFEST
ECHO

1000446697
NYD986913184

Site 1 of 2 in cluster M

Relative:
Lower

RCRA NonGen / NLR:

Date form received by agency: 01/01/2007
 Facility name: NYS DOT BIN 1092881
 Facility address: 787 BRG OVER COLONIE ST
 ALBANY, NY 12208
 EPA ID: NYD986913184
 Mailing address: HOLLAND AVE
 ALBANY, NY 12208
 Contact: Not reported
 Contact address: HOLLAND AVE
 ALBANY, NY 12208
 Contact country: US
 Contact telephone: Not reported
 Contact email: Not reported
 EPA Region: 02
 Classification: Non-Generator
 Description: Handler: Non-Generators do not presently generate hazardous waste

Actual:
11 ft.

Owner/Operator Summary:

Owner/operator name: NYS DOT
 Owner/operator address: NOT REQUIRED
 NOT REQUIRED, WY 99999
 Owner/operator country: US
 Owner/operator telephone: (212) 555-1212
 Legal status: State
 Owner/Operator Type: Operator
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

Owner/operator name: NYS DOT
 Owner/operator address: NOT REQUIRED
 NOT REQUIRED, WY 99999
 Owner/operator country: US
 Owner/operator telephone: (212) 555-1212
 Legal status: State
 Owner/Operator Type: Owner
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 1092881 (Continued)

1000446697

Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
Used oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 01/01/2006
Site name: NYSDOT BIN 1092881
Classification: Not a generator, verified

Date form received by agency: 04/19/1995
Site name: NYSDOT BIN 1092881
Classification: Unverified

. Waste code: NONE
. Waste name: None

Date form received by agency: 09/19/1990
Site name: NYSDOT BIN 1092881
Classification: Large Quantity Generator

. Waste code: D000
. Waste name: Not Defined

. Waste code: D008
. Waste name: LEAD

Violation Status: No violations found

FINDS:

Registry ID: 110004453047

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

NY MANIFEST:

Country: USA
EPA ID: NYD986913184
Facility Status: Not reported
Location Address 1: BIN #1092881 BRIDGE 787
Code: BP
Location Address 2: Not reported
Total Tanks: Not reported
Location City: ALBANY OVER COLONY ST

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 1092881 (Continued)

1000446697

Location State: NY
Location Zip: 12208
Location Zip 4: Not reported

NY MANIFEST:
EPAID: NYD986913184
Mailing Name: NYSDOT
Mailing Contact: JOHN A. SANTORE
Mailing Address 1: 84 HOLLAND AVENUE
Mailing Address 2: Not reported
Mailing City: ALBANY
Mailing State: NY
Mailing Zip: 12208
Mailing Zip 4: Not reported
Mailing Country: USA
Mailing Phone: 0000000000

NY MANIFEST:
Document ID: NYB4697829
Manifest Status: C
seq: Not reported
Year: 1992
Trans1 State ID: 11278PNY
Trans2 State ID: Not reported
Generator Ship Date: 08/05/1992
Trans1 Recv Date: 08/05/1992
Trans2 Recv Date: / /
TSD Site Recv Date: 08/06/1992
Part A Recv Date: / /
Part B Recv Date: 08/13/1992
Generator EPA ID: NYD986913184
Trans1 EPA ID: NYD980769947
Trans2 EPA ID: Not reported
TSDF ID 1: OHD066060609
TSDF ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D008 - LEAD 5.0 MG/L TCLP
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00005
Units: Y - Cubic yards* (.85 tons)
Number of Containers: 019
Container Type: DM - Metal drums, barrels

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 1092881 (Continued)

1000446697

Handling Method: L Landfill.
Specific Gravity: 100

Document ID: NYB2458305
Manifest Status: C
seq: Not reported
Year: 1992
Trans1 State ID: 11340PNY
Trans2 State ID: Not reported
Generator Ship Date: 05/28/1992
Trans1 Recv Date: 05/28/1992
Trans2 Recv Date: / /
TSD Site Recv Date: 05/29/1992
Part A Recv Date: / /
Part B Recv Date: 06/12/1992
Generator EPA ID: NYD986913184
Trans1 EPA ID: NYD980769947
Trans2 EPA ID: Not reported
TSD ID 1: OHD066060609
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D008 - LEAD 5.0 MG/L TCLP
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00001
Units: Y - Cubic yards* (.85 tons)
Number of Containers: 005
Container Type: DM - Metal drums, barrels
Handling Method: L Landfill.
Specific Gravity: 100

Document ID: NYB2459025
Manifest Status: C
seq: Not reported
Year: 1992
Trans1 State ID: 11277PNY
Trans2 State ID: Not reported
Generator Ship Date: 07/01/1992
Trans1 Recv Date: 07/01/1992
Trans2 Recv Date: / /
TSD Site Recv Date: 07/06/1992
Part A Recv Date: / /
Part B Recv Date: 07/17/1992

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 1092881 (Continued)

1000446697

Generator EPA ID: NYD986913184
Trans1 EPA ID: NYD980769947
Trans2 EPA ID: Not reported
TSD ID 1: OHD066060609
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D008 - LEAD 5.0 MG/L TCLP
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00008
Units: Y - Cubic yards* (.85 tons)
Number of Containers: 032
Container Type: DM - Metal drums, barrels
Handling Method: L Landfill.
Specific Gravity: 100

Document ID: MIA2167541
Manifest Status: K
seq: Not reported
Year: 1990
Trans1 State ID: 98222WNY
Trans2 State ID: Not reported
Generator Ship Date: 11/21/1990
Trans1 Recv Date: 11/21/1990
Trans2 Recv Date: / /
TSD Site Recv Date: 11/27/1990
Part A Recv Date: 04/10/1991
Part B Recv Date: 01/02/1991
Generator EPA ID: NYD986913184
Trans1 EPA ID: NYD097644801
Trans2 EPA ID: Not reported
TSD ID 1: MID096963194
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 1092881 (Continued)

1000446697

Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D008 - LEAD 5.0 MG/L TCLP
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00012
Units: Y - Cubic yards* (.85 tons)
Number of Containers: 001
Container Type: CM - Metal boxes, cases, roll-offs
Handling Method: L Landfill.
Specific Gravity: 100

ECHO:

Envid: 1000446697
Registry ID: 110004453047
DFR URL: http://echo.epa.gov/detailed_facility_report?fid=110004453047

M70
WSW
1/8-1/4
0.242 mi.
1278 ft.

NYSDOT BIN 1092882
I-787 COLONIE ST NB
ALBANY, NY 12208

RCRA NonGen / NLR **1000554956**
MANIFEST **NYD986974483**

Site 2 of 2 in cluster M

Relative:
Lower

RCRA NonGen / NLR:

Date form received by agency: 01/01/2007
Facility name: NYSDOT BIN 1092882
Facility address: I-787 COLONIE ST NB
ALBANY, NY 12208
EPA ID: NYD986974483
Mailing address: HOLLAND AVE
ALBANY, NY 12208
Contact: DAVID JANESKI
Contact address: HOLLAND AVE
ALBANY, NY 12208
Contact country: US
Contact telephone: (518) 474-6562
Contact email: Not reported
EPA Region: 02
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Actual:
11 ft.

Owner/Operator Summary:

Owner/operator name: NYSDOT
Owner/operator address: 84 HOLLAND AVE
ALBANY, NY 12208

Owner/operator country: US
Owner/operator telephone: (518) 474-6562
Legal status: State
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: NYSDOT

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYS DOT BIN 1092882 (Continued)

1000554956

Owner/operator address: 84 HOLLAND AVE
ALBANY, NY 12208
Owner/operator country: US
Owner/operator telephone: (518) 474-6562
Legal status: State
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 01/01/2006
Site name: NYS DOT BIN 1092882
Classification: Not a generator, verified

Date form received by agency: 08/23/1991
Site name: NYS DOT BIN 1092882
Classification: Not a generator, verified

. Waste code: D000
. Waste name: Not Defined

. Waste code: D008
. Waste name: LEAD

Violation Status: No violations found

NY MANIFEST:

Country: USA
EPA ID: NYD986974483
Facility Status: Not reported
Location Address 1: BIN 1092882 I-787/COLONNY ST NB
Code: BP
Location Address 2: Not reported
Total Tanks: Not reported
Location City: ALBANY
Location State: NY
Location Zip: 12208
Location Zip 4: Not reported

NY MANIFEST:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 1092882 (Continued)

1000554956

EPAID: NYD986974483
Mailing Name: NYSDOT
Mailing Contact: TIMOTHY MANGIONE
Mailing Address 1: 84 HOLLAND AVENUE
Mailing Address 2: Not reported
Mailing City: ALBANY
Mailing State: NY
Mailing Zip: 12208
Mailing Zip 4: Not reported
Mailing Country: USA
Mailing Phone: 5184655496

NY MANIFEST:

Document ID: NYB4697838
Manifest Status: C
seq: Not reported
Year: 1992
Trans1 State ID: 11278PNY
Trans2 State ID: Not reported
Generator Ship Date: 08/04/1992
Trans1 Recv Date: 08/05/1992
Trans2 Recv Date: / /
TSD Site Recv Date: 08/06/1992
Part A Recv Date: / /
Part B Recv Date: 08/13/1992
Generator EPA ID: NYD986974483
Trans1 EPA ID: NYD980769947
Trans2 EPA ID: Not reported
TSD ID 1: OHD066060609
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D008 - LEAD 5.0 MG/L TCLP
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00003
Units: Y - Cubic yards* (.85 tons)
Number of Containers: 012
Container Type: DM - Metal drums, barrels
Handling Method: L Landfill.
Specific Gravity: 100

Document ID: NYB2459016
Manifest Status: C

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 1092882 (Continued)

1000554956

seq: Not reported
Year: 1992
Trans1 State ID: 11277PNY
Trans2 State ID: Not reported
Generator Ship Date: 07/01/1992
Trans1 Recv Date: 07/01/1992
Trans2 Recv Date: / /
TSD Site Recv Date: 07/06/1992
Part A Recv Date: / /
Part B Recv Date: 07/17/1992
Generator EPA ID: NYD986974483
Trans1 EPA ID: NYD980769947
Trans2 EPA ID: Not reported
TSD ID 1: OHD066060609
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D008 - LEAD 5.0 MG/L TCLP
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00003
Units: Y - Cubic yards* (.85 tons)
Number of Containers: 010
Container Type: DM - Metal drums, barrels
Handling Method: L Landfill.
Specific Gravity: 100

Document ID: NYB2458296
Manifest Status: C
seq: Not reported
Year: 1992
Trans1 State ID: 11340PNY
Trans2 State ID: Not reported
Generator Ship Date: 05/28/1992
Trans1 Recv Date: 05/28/1992
Trans2 Recv Date: / /
TSD Site Recv Date: 05/29/1992
Part A Recv Date: / /
Part B Recv Date: / /
Generator EPA ID: NYD986974483
Trans1 EPA ID: NYD980769947
Trans2 EPA ID: Not reported
TSD ID 1: OHD066060609
TSD ID 2: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

NYSDOT BIN 1092882 (Continued)

1000554956

Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D008 - LEAD 5.0 MG/L TCLP
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00009
Units: Y - Cubic yards* (.85 tons)
Number of Containers: 035
Container Type: DM - Metal drums, barrels
Handling Method: L Landfill.
Specific Gravity: 100

Count: 5 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
RENSSELAER	1016397826	DE LAETS LANDING	BROADWAY @ OLD SCHOOL SITE		FINDS
RENSSELAER	S105464381	NM - RENSSELAER MGP	WASHINGTON ST	12144	VCP
TROY	S113492644	CHEVRON FORMER ASPHALT FACILITY	WATER STREET	12180	SHWS
TROY	S103350641	NM - AREA 4 WATER ST. - TROY MGP	WATER STREET	12180	SHWS
TROY	S108239530	NM - TROY WATER ST. MGP	WATER STREET	12180	SHWS

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 12/05/2016	Source: EPA
Date Data Arrived at EDR: 01/05/2017	Telephone: N/A
Date Made Active in Reports: 02/03/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 29	Next Scheduled EDR Contact: 04/17/2017
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 12/05/2016	Source: EPA
Date Data Arrived at EDR: 01/05/2017	Telephone: N/A
Date Made Active in Reports: 02/03/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 29	Next Scheduled EDR Contact: 04/17/2017
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/1991	Source: EPA
Date Data Arrived at EDR: 02/02/1994	Telephone: 202-564-4267
Date Made Active in Reports: 03/30/1994	Last EDR Contact: 08/15/2011
Number of Days to Update: 56	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal Delisted NPL site list

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 12/05/2016	Source: EPA
Date Data Arrived at EDR: 01/05/2017	Telephone: N/A
Date Made Active in Reports: 02/03/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 29	Next Scheduled EDR Contact: 04/17/2017
	Data Release Frequency: Quarterly

Federal CERCLIS list

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 09/14/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 10/04/2016	Telephone: 703-603-8704
Date Made Active in Reports: 10/21/2016	Last EDR Contact: 01/05/2017
Number of Days to Update: 17	Next Scheduled EDR Contact: 04/17/2017
	Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly know as CERCLIS, renamed to SEMs by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 10/10/2016	Source: EPA
Date Data Arrived at EDR: 10/20/2016	Telephone: 800-424-9346
Date Made Active in Reports: 01/06/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 78	Next Scheduled EDR Contact: 05/01/2017
	Data Release Frequency: Quarterly

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 10/10/2016	Source: EPA
Date Data Arrived at EDR: 10/20/2016	Telephone: 800-424-9346
Date Made Active in Reports: 01/06/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 78	Next Scheduled EDR Contact: 05/01/2017
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 12/12/2016	Source: EPA
Date Data Arrived at EDR: 12/28/2016	Telephone: 800-424-9346
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 44	Next Scheduled EDR Contact: 04/10/2017
	Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 12/12/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/28/2016	Telephone: (212) 637-3660
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 44	Next Scheduled EDR Contact: 04/10/2017
	Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 12/12/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/28/2016	Telephone: (212) 637-3660
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 44	Next Scheduled EDR Contact: 04/10/2017
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 12/12/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/28/2016	Telephone: (212) 637-3660
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 44	Next Scheduled EDR Contact: 04/10/2017
	Data Release Frequency: Quarterly

RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 12/12/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/28/2016	Telephone: (212) 637-3660
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 44	Next Scheduled EDR Contact: 04/10/2017
	Data Release Frequency: Varies

Federal institutional controls / engineering controls registries

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 05/28/2015	Source: Department of the Navy
Date Data Arrived at EDR: 05/29/2015	Telephone: 843-820-7326
Date Made Active in Reports: 06/11/2015	Last EDR Contact: 02/13/2017
Number of Days to Update: 13	Next Scheduled EDR Contact: 05/29/2017
	Data Release Frequency: Varies

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 11/15/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/29/2016	Telephone: 703-603-0695
Date Made Active in Reports: 02/03/2017	Last EDR Contact: 02/28/2017
Number of Days to Update: 66	Next Scheduled EDR Contact: 06/12/2017
	Data Release Frequency: Varies

US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 11/15/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/29/2016	Telephone: 703-603-0695
Date Made Active in Reports: 02/03/2017	Last EDR Contact: 02/28/2017
Number of Days to Update: 66	Next Scheduled EDR Contact: 06/12/2017
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 09/26/2016
Date Data Arrived at EDR: 09/29/2016
Date Made Active in Reports: 11/11/2016
Number of Days to Update: 43

Source: National Response Center, United States Coast Guard
Telephone: 202-267-2180
Last EDR Contact: 12/28/2016
Next Scheduled EDR Contact: 04/10/2017
Data Release Frequency: Annually

State- and tribal - equivalent CERCLIS

SHWS: Inactive Hazardous Waste Disposal Sites in New York State

Referred to as the State Superfund Program, the Inactive Hazardous Waste Disposal Site Remedial Program is the cleanup program for inactive hazardous waste sites and now includes hazardous substance sites

Date of Government Version: 11/14/2016
Date Data Arrived at EDR: 11/16/2016
Date Made Active in Reports: 01/04/2017
Number of Days to Update: 49

Source: Department of Environmental Conservation
Telephone: 518-402-9622
Last EDR Contact: 02/16/2017
Next Scheduled EDR Contact: 05/29/2017
Data Release Frequency: Annually

VAPOR REOPENED: Vapor Intrusion Legacy Site List

New York is currently re-evaluating previous assumptions and decisions regarding the potential for soil vapor intrusion exposures at sites. As a result, all past, current, and future contaminated sites will be evaluated to determine whether these sites have the potential for exposures related to soil vapor intrusion.

Date of Government Version: 06/01/2016
Date Data Arrived at EDR: 08/19/2016
Date Made Active in Reports: 01/05/2017
Number of Days to Update: 139

Source: Department of Environmental Conservation
Telephone: 518-402-9814
Last EDR Contact: 02/17/2017
Next Scheduled EDR Contact: 05/29/2017
Data Release Frequency: Varies

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: Facility Register

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 01/04/2017
Date Data Arrived at EDR: 01/10/2017
Date Made Active in Reports: 02/13/2017
Number of Days to Update: 34

Source: Department of Environmental Conservation
Telephone: 518-457-2051
Last EDR Contact: 01/03/2017
Next Scheduled EDR Contact: 04/17/2017
Data Release Frequency: Semi-Annually

State and tribal leaking storage tank lists

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 02/25/2016
Date Data Arrived at EDR: 04/27/2016
Date Made Active in Reports: 06/03/2016
Number of Days to Update: 37

Source: Environmental Protection Agency
Telephone: 415-972-3372
Last EDR Contact: 01/26/2017
Next Scheduled EDR Contact: 05/08/2017
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 10/13/2015	Source: EPA Region 8
Date Data Arrived at EDR: 10/23/2015	Telephone: 303-312-6271
Date Made Active in Reports: 02/18/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 118	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Quarterly

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 10/09/2015	Source: EPA Region 7
Date Data Arrived at EDR: 02/12/2016	Telephone: 913-551-7003
Date Made Active in Reports: 06/03/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 112	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 12/11/2015	Source: EPA Region 6
Date Data Arrived at EDR: 02/19/2016	Telephone: 214-665-6597
Date Made Active in Reports: 06/03/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 105	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 02/05/2016	Source: EPA Region 4
Date Data Arrived at EDR: 04/29/2016	Telephone: 404-562-8677
Date Made Active in Reports: 06/03/2016	Last EDR Contact: 01/24/2017
Number of Days to Update: 35	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Semi-Annually

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land

A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/27/2015	Source: EPA Region 1
Date Data Arrived at EDR: 10/29/2015	Telephone: 617-918-1313
Date Made Active in Reports: 01/04/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 67	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land

Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 02/17/2016	Source: EPA, Region 5
Date Data Arrived at EDR: 04/27/2016	Telephone: 312-886-7439
Date Made Active in Reports: 06/03/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 37	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 01/07/2016	Source: EPA Region 10
Date Data Arrived at EDR: 01/08/2016	Telephone: 206-553-2857
Date Made Active in Reports: 02/18/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 41	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

LTANKS: Spills Information Database

Leaking Storage Tank Incident Reports. These records contain an inventory of reported leaking storage tank incidents reported from 4/1/86 through the most recent update. They can be either leaking underground storage tanks or leaking aboveground storage tanks. The causes of the incidents are tank test failures, tank failures or tank overfills.

Date of Government Version: 02/06/2017	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 02/06/2017	Telephone: 518-402-9549
Date Made Active in Reports: 02/08/2017	Last EDR Contact: 02/06/2017
Number of Days to Update: 2	Next Scheduled EDR Contact: 05/29/2017
	Data Release Frequency: Varies

HIST LTANKS: Listing of Leaking Storage Tanks

A listing of leaking underground and aboveground storage tanks. The causes of the incidents are tank test failures, tank failures or tank overfills. In 2002, the Department of Environmental Conservation stopped providing updates to its original Spills Information Database. This database includes fields that are no longer available from the NYDEC as of January 1, 2002. Current information may be found in the NY LTANKS database. Department of Environmental Conservation.

Date of Government Version: 01/01/2002	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 07/08/2005	Telephone: 518-402-9549
Date Made Active in Reports: 07/14/2005	Last EDR Contact: 07/07/2005
Number of Days to Update: 6	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

State and tribal registered storage tank lists

FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/01/2010	Source: FEMA
Date Data Arrived at EDR: 02/16/2010	Telephone: 202-646-5797
Date Made Active in Reports: 04/12/2010	Last EDR Contact: 01/23/2017
Number of Days to Update: 55	Next Scheduled EDR Contact: 04/24/2017
	Data Release Frequency: Varies

UST: Petroleum Bulk Storage (PBS) Database

Facilities that have petroleum storage capacities in excess of 1,100 gallons and less than 400,000 gallons.

Date of Government Version: 12/28/2016	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 12/28/2016	Telephone: 518-402-9549
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 12/28/2016
Number of Days to Update: 44	Next Scheduled EDR Contact: 04/10/2017
	Data Release Frequency: No Update Planned

CBS UST: Chemical Bulk Storage Database

Facilities that store regulated hazardous substances in underground tanks of any size

Date of Government Version: 01/01/2002	Source: NYSDEC
Date Data Arrived at EDR: 02/20/2002	Telephone: 518-402-9549
Date Made Active in Reports: 03/22/2002	Last EDR Contact: 10/24/2005
Number of Days to Update: 30	Next Scheduled EDR Contact: 01/23/2006
	Data Release Frequency: No Update Planned

MOSF UST: Major Oil Storage Facilities Database

Facilities that may be onshore facilities or vessels, with petroleum storage capacities of 400,000 gallons or greater.

Date of Government Version: 01/01/2002	Source: NYSDEC
Date Data Arrived at EDR: 02/20/2002	Telephone: 518-402-9549
Date Made Active in Reports: 03/22/2002	Last EDR Contact: 07/25/2005
Number of Days to Update: 30	Next Scheduled EDR Contact: 10/24/2005
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CBS: Chemical Bulk Storage Site Listing

These facilities store regulated hazardous substances in aboveground tanks with capacities of 185 gallons or greater, and/or in underground tanks of any size

Date of Government Version: 12/28/2016
Date Data Arrived at EDR: 12/28/2016
Date Made Active in Reports: 02/10/2017
Number of Days to Update: 44

Source: Department of Environmental Conservation
Telephone: 518-402-9549
Last EDR Contact: 12/28/2016
Next Scheduled EDR Contact: 04/10/2017
Data Release Frequency: Quarterly

MOSF: Major Oil Storage Facility Site Listing

These facilities may be onshore facilities or vessels, with petroleum storage capacities of 400,000 gallons or greater.

Date of Government Version: 12/28/2016
Date Data Arrived at EDR: 12/28/2016
Date Made Active in Reports: 02/10/2017
Number of Days to Update: 44

Source: Department of Environmental Conservation
Telephone: 518-402-9549
Last EDR Contact: 12/28/2016
Next Scheduled EDR Contact: 04/10/2017
Data Release Frequency: Quarterly

AST: Petroleum Bulk Storage

Registered Aboveground Storage Tanks.

Date of Government Version: 12/28/2016
Date Data Arrived at EDR: 12/28/2016
Date Made Active in Reports: 02/10/2017
Number of Days to Update: 44

Source: Department of Environmental Conservation
Telephone: 518-402-9549
Last EDR Contact: 12/28/2016
Next Scheduled EDR Contact: 04/10/2017
Data Release Frequency: No Update Planned

CBS AST: Chemical Bulk Storage Database

Facilities that store regulated hazardous substances in aboveground tanks with capacities of 185 gallons or greater, and/or in underground tanks of any size.

Date of Government Version: 01/01/2002
Date Data Arrived at EDR: 02/20/2002
Date Made Active in Reports: 03/22/2002
Number of Days to Update: 30

Source: NYSDEC
Telephone: 518-402-9549
Last EDR Contact: 07/25/2005
Next Scheduled EDR Contact: 10/24/2005
Data Release Frequency: No Update Planned

MOSF AST: Major Oil Storage Facilities Database

Facilities that may be onshore facilities or vessels, with petroleum storage capacities of 400,000 gallons or greater.

Date of Government Version: 01/01/2002
Date Data Arrived at EDR: 02/20/2002
Date Made Active in Reports: 03/22/2002
Number of Days to Update: 30

Source: NYSDEC
Telephone: 518-402-9549
Last EDR Contact: 07/25/2005
Next Scheduled EDR Contact: 10/24/2005
Data Release Frequency: No Update Planned

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 01/07/2016
Date Data Arrived at EDR: 01/08/2016
Date Made Active in Reports: 02/18/2016
Number of Days to Update: 41

Source: EPA Region 10
Telephone: 206-553-2857
Last EDR Contact: 01/26/2017
Next Scheduled EDR Contact: 05/08/2017
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 02/25/2016	Source: EPA Region 9
Date Data Arrived at EDR: 04/27/2016	Telephone: 415-972-3368
Date Made Active in Reports: 06/03/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 37	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Quarterly

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 01/26/2016	Source: EPA Region 8
Date Data Arrived at EDR: 02/05/2016	Telephone: 303-312-6137
Date Made Active in Reports: 06/03/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 119	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Quarterly

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 09/23/2014	Source: EPA Region 7
Date Data Arrived at EDR: 11/25/2014	Telephone: 913-551-7003
Date Made Active in Reports: 01/29/2015	Last EDR Contact: 01/26/2017
Number of Days to Update: 65	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 12/03/2015	Source: EPA Region 6
Date Data Arrived at EDR: 02/04/2016	Telephone: 214-665-7591
Date Made Active in Reports: 06/03/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 120	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Semi-Annually

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 11/05/2015	Source: EPA Region 5
Date Data Arrived at EDR: 11/13/2015	Telephone: 312-886-6136
Date Made Active in Reports: 01/04/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 52	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/20/2015	Source: EPA, Region 1
Date Data Arrived at EDR: 10/29/2015	Telephone: 617-918-1313
Date Made Active in Reports: 01/04/2016	Last EDR Contact: 01/26/2017
Number of Days to Update: 67	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 02/05/2016	Source: EPA Region 4
Date Data Arrived at EDR: 04/29/2016	Telephone: 404-562-9424
Date Made Active in Reports: 06/03/2016	Last EDR Contact: 01/24/2017
Number of Days to Update: 35	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Semi-Annually

TANKS: Storage Tank Facility Listing

This database contains records of facilities that are or have been regulated under Bulk Storage Program. Tank information for these facilities may not be releasable by the state agency.

Date of Government Version: 12/28/2016	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 12/28/2016	Telephone: 518-402-9543
Date Made Active in Reports: 02/13/2017	Last EDR Contact: 12/28/2016
Number of Days to Update: 47	Next Scheduled EDR Contact: 04/10/2017
	Data Release Frequency: Quarterly

State and tribal institutional control / engineering control registries

RES DECL: Restrictive Declarations Listing

A restrictive declaration is a covenant running with the land which binds the present and future owners of the property. As a condition of certain special permits, the City Planning Commission may require an applicant to sign and record a restrictive declaration that places specified conditions on the future use and development of the property. Certain restrictive declarations are indicated by a D on zoning maps.

Date of Government Version: 11/18/2010	Source: NYC Department of City Planning
Date Data Arrived at EDR: 06/30/2014	Telephone: 212-720-3401
Date Made Active in Reports: 07/21/2014	Last EDR Contact: 12/23/2016
Number of Days to Update: 21	Next Scheduled EDR Contact: 04/03/2017
	Data Release Frequency: Varies

ENV RES DECL: Environmental Restrictive Declarations

The Environmental Restrictive Declarations (ERD) listed were recorded in connection with a zoning action against the noted Tax Blocks and Tax Lots, or portion thereof, and are available in the property records on file at the Office of the City Register for Bronx, Kings, New York and Queens counties or at the Richmond County Clerk's office. They contain environmental requirements with respect to hazardous materials, air quality and/or noise in accordance with Section 11-15 of this Resolution.

Date of Government Version: 11/23/2016	Source: New York City Department of City Planning
Date Data Arrived at EDR: 12/21/2016	Telephone: 212-720-3300
Date Made Active in Reports: 02/13/2017	Last EDR Contact: 12/20/2016
Number of Days to Update: 54	Next Scheduled EDR Contact: 04/03/2017
	Data Release Frequency: Varies

ENG CONTROLS: Registry of Engineering Controls

Environmental Remediation sites that have engineering controls in place.

Date of Government Version: 11/14/2016	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 11/16/2016	Telephone: 518-402-9553
Date Made Active in Reports: 01/04/2017	Last EDR Contact: 02/16/2017
Number of Days to Update: 49	Next Scheduled EDR Contact: 05/29/2017
	Data Release Frequency: Quarterly

INST CONTROL: Registry of Institutional Controls

Environmental Remediation sites that have institutional controls in place.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/14/2016
Date Data Arrived at EDR: 11/16/2016
Date Made Active in Reports: 01/04/2017
Number of Days to Update: 49

Source: Department of Environmental Conservation
Telephone: 518-402-9553
Last EDR Contact: 02/16/2017
Next Scheduled EDR Contact: 05/29/2017
Data Release Frequency: Quarterly

State and tribal voluntary cleanup sites

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 07/27/2015
Date Data Arrived at EDR: 09/29/2015
Date Made Active in Reports: 02/18/2016
Number of Days to Update: 142

Source: EPA, Region 1
Telephone: 617-918-1102
Last EDR Contact: 12/27/2016
Next Scheduled EDR Contact: 04/10/2017
Data Release Frequency: Varies

VCP: Voluntary Cleanup Agreements

New York established its Voluntary Cleanup Program (VCP) to address the environmental, legal and financial barriers that often hinder the redevelopment and reuse of contaminated properties. The Voluntary Cleanup Program was developed to enhance private sector cleanup of brownfields by enabling parties to remediate sites using private rather than public funds and to reduce the development pressures on "greenfield" sites.

Date of Government Version: 11/14/2016
Date Data Arrived at EDR: 11/16/2016
Date Made Active in Reports: 01/05/2017
Number of Days to Update: 50

Source: Department of Environmental Conservation
Telephone: 518-402-9711
Last EDR Contact: 02/16/2017
Next Scheduled EDR Contact: 05/29/2017
Data Release Frequency: Semi-Annually

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008
Date Data Arrived at EDR: 04/22/2008
Date Made Active in Reports: 05/19/2008
Number of Days to Update: 27

Source: EPA, Region 7
Telephone: 913-551-7365
Last EDR Contact: 04/20/2009
Next Scheduled EDR Contact: 07/20/2009
Data Release Frequency: Varies

State and tribal Brownfields sites

BROWNFIELDS: Brownfields Site List

A Brownfield is any real property where redevelopment or re-use may be complicated by the presence or potential presence of a hazardous waste, petroleum, pollutant, or contaminant.

Date of Government Version: 11/14/2016
Date Data Arrived at EDR: 11/16/2016
Date Made Active in Reports: 01/04/2017
Number of Days to Update: 49

Source: Department of Environmental Conservation
Telephone: 518-402-9764
Last EDR Contact: 02/16/2017
Next Scheduled EDR Contact: 05/29/2017
Data Release Frequency: Semi-Annually

ERP: Environmental Restoration Program Listing

In an effort to spur the cleanup and redevelopment of brownfields, New Yorkers approved a \$200 million Environmental Restoration or Brownfields Fund as part of the \$1.75 billion Clean Water/Clean Air Bond Act of 1996 (1996 Bond Act). Enhancements to the program were enacted on October 7, 2003. Under the Environmental Restoration Program, the State provides grants to municipalities to reimburse up to 90 percent of on-site eligible costs and 100% of off-site eligible costs for site investigation and remediation activities. Once remediated, the property may then be reused for commercial, industrial, residential or public use.

Date of Government Version: 11/14/2016
Date Data Arrived at EDR: 11/16/2016
Date Made Active in Reports: 01/04/2017
Number of Days to Update: 49

Source: Department of Environmental Conservation
Telephone: 518-402-9622
Last EDR Contact: 02/16/2017
Next Scheduled EDR Contact: 05/29/2017
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 12/19/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/20/2016	Telephone: 202-566-2777
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 52	Next Scheduled EDR Contact: 04/03/2017
	Data Release Frequency: Semi-Annually

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY: Registered Recycling Facility List

A listing of recycling facilities.

Date of Government Version: 01/04/2017	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 01/10/2017	Telephone: 518-402-8705
Date Made Active in Reports: 02/13/2017	Last EDR Contact: 01/03/2017
Number of Days to Update: 34	Next Scheduled EDR Contact: 04/17/2017
	Data Release Frequency: Semi-Annually

SWTIRE: Registered Waste Tire Storage & Facility List

A listing of facilities registered to accept waste tires.

Date of Government Version: 08/01/2006	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 11/15/2006	Telephone: 518-402-8694
Date Made Active in Reports: 11/30/2006	Last EDR Contact: 12/12/2016
Number of Days to Update: 15	Next Scheduled EDR Contact: 03/27/2017
	Data Release Frequency: Annually

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/03/2007	Telephone: 703-308-8245
Date Made Active in Reports: 01/24/2008	Last EDR Contact: 10/31/2016
Number of Days to Update: 52	Next Scheduled EDR Contact: 02/13/2017
	Data Release Frequency: Varies

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009	Source: EPA, Region 9
Date Data Arrived at EDR: 05/07/2009	Telephone: 415-947-4219
Date Made Active in Reports: 09/21/2009	Last EDR Contact: 01/23/2017
Number of Days to Update: 137	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: No Update Planned

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/30/1985
Date Data Arrived at EDR: 08/09/2004
Date Made Active in Reports: 09/17/2004
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 800-424-9346
Last EDR Contact: 06/09/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

IHS OPEN DUMPS: Open Dumps on Indian Land

A listing of all open dumps located on Indian Land in the United States.

Date of Government Version: 04/01/2014
Date Data Arrived at EDR: 08/06/2014
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 176

Source: Department of Health & Human Services, Indian Health Service
Telephone: 301-443-1452
Last EDR Contact: 01/30/2017
Next Scheduled EDR Contact: 05/08/2017
Data Release Frequency: Varies

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 09/30/2016
Date Data Arrived at EDR: 01/05/2017
Date Made Active in Reports: 02/10/2017
Number of Days to Update: 36

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 02/28/2017
Next Scheduled EDR Contact: 06/12/2017
Data Release Frequency: No Update Planned

DEL SHWS: Delisted Registry Sites

A database listing of sites delisted from the Registry of Inactive Hazardous Waste Disposal Sites.

Date of Government Version: 11/14/2016
Date Data Arrived at EDR: 11/16/2016
Date Made Active in Reports: 01/04/2017
Number of Days to Update: 49

Source: Department of Environmental Conservation
Telephone: 518-402-9622
Last EDR Contact: 02/16/2017
Next Scheduled EDR Contact: 05/29/2017
Data Release Frequency: Annually

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 09/30/2016
Date Data Arrived at EDR: 12/05/2016
Date Made Active in Reports: 02/10/2017
Number of Days to Update: 67

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 02/28/2017
Next Scheduled EDR Contact: 06/12/2017
Data Release Frequency: Quarterly

Local Lists of Registered Storage Tanks

HIST UST: Historical Petroleum Bulk Storage Database

These facilities have petroleum storage capacities in excess of 1,100 gallons and less than 400,000 gallons. This database contains detailed information per site. It is no longer updated due to the sensitive nature of the information involved. See UST for more current data.

Date of Government Version: 01/01/2002
Date Data Arrived at EDR: 06/02/2006
Date Made Active in Reports: 07/20/2006
Number of Days to Update: 48

Source: Department of Environmental Conservation
Telephone: 518-402-9549
Last EDR Contact: 10/23/2006
Next Scheduled EDR Contact: 01/22/2007
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

HIST AST: Historical Petroleum Bulk Storage Database

These facilities have petroleum storage capabilities in excess of 1,100 gallons and less than 400,000 gallons. This database contains detailed information per site. No longer updated due to the sensitive nature of the information involved. See AST for more current data.

Date of Government Version: 01/01/2002
Date Data Arrived at EDR: 06/02/2006
Date Made Active in Reports: 07/20/2006
Number of Days to Update: 48

Source: Department of Environmental Conservation
Telephone: 518-402-9549
Last EDR Contact: 10/23/2006
Next Scheduled EDR Contact: 01/22/2007
Data Release Frequency: No Update Planned

Local Land Records

LIENS: Spill Liens Information

Lien information from the Oil Spill Fund.

Date of Government Version: 12/29/2016
Date Data Arrived at EDR: 12/30/2016
Date Made Active in Reports: 02/13/2017
Number of Days to Update: 45

Source: Office of the State Comptroller
Telephone: 518-474-9034
Last EDR Contact: 02/06/2017
Next Scheduled EDR Contact: 05/22/2017
Data Release Frequency: Varies

LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 02/18/2014
Date Data Arrived at EDR: 03/18/2014
Date Made Active in Reports: 04/24/2014
Number of Days to Update: 37

Source: Environmental Protection Agency
Telephone: 202-564-6023
Last EDR Contact: 01/24/2017
Next Scheduled EDR Contact: 05/08/2017
Data Release Frequency: Varies

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 12/28/2016
Date Data Arrived at EDR: 12/28/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 37

Source: U.S. Department of Transportation
Telephone: 202-366-4555
Last EDR Contact: 12/28/2016
Next Scheduled EDR Contact: 04/10/2017
Data Release Frequency: Annually

SPILLS: Spills Information Database

Data collected on spills reported to NYSDEC as required by one or more of the following: Article 12 of the Navigation Law, 6 NYCRR Section 613.8 (from PBS regs), or 6 NYCRR Section 595.2 (from CBS regs). It includes spills active as of April 1, 1986, as well as spills occurring since this date.

Date of Government Version: 02/06/2017
Date Data Arrived at EDR: 02/06/2017
Date Made Active in Reports: 02/08/2017
Number of Days to Update: 2

Source: Department of Environmental Conservation
Telephone: 518-402-9549
Last EDR Contact: 02/06/2017
Next Scheduled EDR Contact: 05/29/2017
Data Release Frequency: Varies

HIST SPILLS: SPILLS Database

This database contains records of chemical and petroleum spill incidents. Under State law, petroleum and hazardous chemical spills that can impact the waters of the state must be reported by the spiller (and, in some cases, by anyone who has knowledge of the spills). In 2002, the Department of Environmental Conservation stopped providing updates to its original Spills Information Database. This database includes fields that are no longer available from the NYDEC as of January 1, 2002. Current information may be found in the NY SPILLS database. Department of Environmental Conservation.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/01/2002
Date Data Arrived at EDR: 07/08/2005
Date Made Active in Reports: 07/14/2005
Number of Days to Update: 6

Source: Department of Environmental Conservation
Telephone: 518-402-9549
Last EDR Contact: 07/07/2005
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

SPILLS 90: SPILLS90 data from FirstSearch

Spills 90 includes those spill and release records available exclusively from FirstSearch databases. Typically, they may include chemical, oil and/or hazardous substance spills recorded after 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 90.

Date of Government Version: 12/14/2012
Date Data Arrived at EDR: 01/03/2013
Date Made Active in Reports: 02/12/2013
Number of Days to Update: 40

Source: FirstSearch
Telephone: N/A
Last EDR Contact: 01/03/2013
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

SPILLS 80: SPILLS80 data from FirstSearch

Spills 80 includes those spill and release records available from FirstSearch databases prior to 1990. Typically, they may include chemical, oil and/or hazardous substance spills recorded before 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 80.

Date of Government Version: 11/02/2010
Date Data Arrived at EDR: 01/03/2013
Date Made Active in Reports: 03/07/2013
Number of Days to Update: 63

Source: FirstSearch
Telephone: N/A
Last EDR Contact: 01/03/2013
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

Other Ascertainable Records

RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 12/12/2016
Date Data Arrived at EDR: 12/28/2016
Date Made Active in Reports: 02/10/2017
Number of Days to Update: 44

Source: Environmental Protection Agency
Telephone: (212) 637-3660
Last EDR Contact: 03/02/2017
Next Scheduled EDR Contact: 04/10/2017
Data Release Frequency: Varies

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 01/31/2015
Date Data Arrived at EDR: 07/08/2015
Date Made Active in Reports: 10/13/2015
Number of Days to Update: 97

Source: U.S. Army Corps of Engineers
Telephone: 202-528-4285
Last EDR Contact: 02/24/2017
Next Scheduled EDR Contact: 06/05/2017
Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 11/10/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 62

Source: USGS
Telephone: 888-275-8747
Last EDR Contact: 01/13/2017
Next Scheduled EDR Contact: 04/24/2017
Data Release Frequency: Semi-Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 12/31/2005	Source: U.S. Geological Survey
Date Data Arrived at EDR: 02/06/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 01/13/2017
Number of Days to Update: 339	Next Scheduled EDR Contact: 04/24/2017
	Data Release Frequency: N/A

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 03/07/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2011	Telephone: 615-532-8599
Date Made Active in Reports: 05/02/2011	Last EDR Contact: 02/03/2017
Number of Days to Update: 54	Next Scheduled EDR Contact: 05/29/2017
	Data Release Frequency: Varies

US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 10/11/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/16/2016	Telephone: 202-566-1917
Date Made Active in Reports: 02/03/2017	Last EDR Contact: 02/15/2017
Number of Days to Update: 79	Next Scheduled EDR Contact: 05/29/2017
	Data Release Frequency: Quarterly

EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/21/2014	Telephone: 617-520-3000
Date Made Active in Reports: 06/17/2014	Last EDR Contact: 02/03/2017
Number of Days to Update: 88	Next Scheduled EDR Contact: 05/22/2017
	Data Release Frequency: Quarterly

2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 04/22/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/03/2015	Telephone: 703-308-4044
Date Made Active in Reports: 03/09/2015	Last EDR Contact: 02/10/2017
Number of Days to Update: 6	Next Scheduled EDR Contact: 05/22/2017
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2012	Source: EPA
Date Data Arrived at EDR: 01/15/2015	Telephone: 202-260-5521
Date Made Active in Reports: 01/29/2015	Last EDR Contact: 12/23/2016
Number of Days to Update: 14	Next Scheduled EDR Contact: 04/03/2017
	Data Release Frequency: Every 4 Years

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2014	Source: EPA
Date Data Arrived at EDR: 11/24/2015	Telephone: 202-566-0250
Date Made Active in Reports: 04/05/2016	Last EDR Contact: 02/24/2017
Number of Days to Update: 133	Next Scheduled EDR Contact: 06/05/2017
	Data Release Frequency: Annually

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 12/10/2010	Telephone: 202-564-4203
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 03/09/2017
Number of Days to Update: 77	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Annually

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 11/25/2013	Source: EPA
Date Data Arrived at EDR: 12/12/2013	Telephone: 703-416-0223
Date Made Active in Reports: 02/24/2014	Last EDR Contact: 03/06/2017
Number of Days to Update: 74	Next Scheduled EDR Contact: 06/19/2017
	Data Release Frequency: Annually

RMP: Risk Management Plans

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 08/01/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/22/2016	Telephone: 202-564-8600
Date Made Active in Reports: 11/11/2016	Last EDR Contact: 01/23/2017
Number of Days to Update: 81	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 10/25/2013	Source: EPA
Date Data Arrived at EDR: 10/17/2014	Telephone: 202-564-6023
Date Made Active in Reports: 10/20/2014	Last EDR Contact: 02/10/2017
Number of Days to Update: 3	Next Scheduled EDR Contact: 05/22/2017
	Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 01/20/2016	Source: EPA
Date Data Arrived at EDR: 04/28/2016	Telephone: 202-566-0500
Date Made Active in Reports: 09/02/2016	Last EDR Contact: 01/13/2017
Number of Days to Update: 127	Next Scheduled EDR Contact: 04/24/2017
	Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/23/2016	Telephone: 202-564-5088
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 01/09/2017
Number of Days to Update: 79	Next Scheduled EDR Contact: 04/24/2017
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009
Date Data Arrived at EDR: 04/16/2009
Date Made Active in Reports: 05/11/2009
Number of Days to Update: 25

Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Telephone: 202-566-1667
Last EDR Contact: 02/17/2017
Next Scheduled EDR Contact: 06/05/2017
Data Release Frequency: Quarterly

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009
Date Data Arrived at EDR: 04/16/2009
Date Made Active in Reports: 05/11/2009
Number of Days to Update: 25

Source: EPA
Telephone: 202-566-1667
Last EDR Contact: 02/17/2017
Next Scheduled EDR Contact: 06/05/2017
Data Release Frequency: Quarterly

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 08/30/2016
Date Data Arrived at EDR: 09/08/2016
Date Made Active in Reports: 10/21/2016
Number of Days to Update: 43

Source: Nuclear Regulatory Commission
Telephone: 301-415-7169
Last EDR Contact: 02/03/2017
Next Scheduled EDR Contact: 05/22/2017
Data Release Frequency: Quarterly

COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 08/07/2009
Date Made Active in Reports: 10/22/2009
Number of Days to Update: 76

Source: Department of Energy
Telephone: 202-586-8719
Last EDR Contact: 03/06/2017
Next Scheduled EDR Contact: 06/19/2017
Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 07/01/2014
Date Data Arrived at EDR: 09/10/2014
Date Made Active in Reports: 10/20/2014
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: N/A
Last EDR Contact: 03/06/2017
Next Scheduled EDR Contact: 06/19/2017
Data Release Frequency: Varies

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 02/01/2011
Date Data Arrived at EDR: 10/19/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 83

Source: Environmental Protection Agency
Telephone: 202-566-0517
Last EDR Contact: 01/29/2016
Next Scheduled EDR Contact: 05/08/2017
Data Release Frequency: Varies

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/04/2017
Date Data Arrived at EDR: 01/06/2017
Date Made Active in Reports: 02/10/2017
Number of Days to Update: 35

Source: Environmental Protection Agency
Telephone: 202-343-9775
Last EDR Contact: 01/06/2017
Next Scheduled EDR Contact: 04/17/2017
Data Release Frequency: Quarterly

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2007
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2008
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 07/31/2012
Date Data Arrived at EDR: 08/07/2012
Date Made Active in Reports: 09/18/2012
Number of Days to Update: 42

Source: Department of Transportation, Office of Pipeline Safety
Telephone: 202-366-4595
Last EDR Contact: 02/01/2017
Next Scheduled EDR Contact: 05/08/2017
Data Release Frequency: Varies

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 09/30/2016
Date Data Arrived at EDR: 11/18/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 77

Source: Department of Justice, Consent Decree Library
Telephone: Varies
Last EDR Contact: 01/23/2017
Next Scheduled EDR Contact: 04/10/2017
Data Release Frequency: Varies

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2013
Date Data Arrived at EDR: 02/24/2015
Date Made Active in Reports: 09/30/2015
Number of Days to Update: 218

Source: EPA/NTIS
Telephone: 800-424-9346
Last EDR Contact: 02/22/2017
Next Scheduled EDR Contact: 06/05/2017
Data Release Frequency: Biennially

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014	Source: USGS
Date Data Arrived at EDR: 07/14/2015	Telephone: 202-208-3710
Date Made Active in Reports: 01/10/2017	Last EDR Contact: 01/13/2017
Number of Days to Update: 546	Next Scheduled EDR Contact: 04/24/2017
	Data Release Frequency: Semi-Annually

FUSRAP: Formerly Utilized Sites Remedial Action Program

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 12/23/2016	Source: Department of Energy
Date Data Arrived at EDR: 12/27/2016	Telephone: 202-586-3559
Date Made Active in Reports: 02/17/2017	Last EDR Contact: 02/03/2017
Number of Days to Update: 52	Next Scheduled EDR Contact: 05/22/2017
	Data Release Frequency: Varies

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 09/14/2010	Source: Department of Energy
Date Data Arrived at EDR: 10/07/2011	Telephone: 505-845-0011
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 02/21/2017
Number of Days to Update: 146	Next Scheduled EDR Contact: 06/05/2017
	Data Release Frequency: Varies

LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 12/05/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/05/2017	Telephone: 703-603-8787
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 03/02/2017
Number of Days to Update: 36	Next Scheduled EDR Contact: 04/17/2017
	Data Release Frequency: Varies

LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

Date of Government Version: 04/05/2001	Source: American Journal of Public Health
Date Data Arrived at EDR: 10/27/2010	Telephone: 703-305-6451
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 12/02/2009
Number of Days to Update: 36	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 03/07/2017
Next Scheduled EDR Contact: 04/10/2017
Data Release Frequency: Annually

US AIRS MINOR: Air Facility System Data A listing of minor source facilities.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 03/07/2017
Next Scheduled EDR Contact: 04/10/2017
Data Release Frequency: Annually

US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 08/05/2016
Date Data Arrived at EDR: 09/01/2016
Date Made Active in Reports: 09/23/2016
Number of Days to Update: 22

Source: Department of Labor, Mine Safety and Health Administration
Telephone: 303-231-5959
Last EDR Contact: 02/28/2017
Next Scheduled EDR Contact: 06/12/2017
Data Release Frequency: Semi-Annually

US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 12/05/2005
Date Data Arrived at EDR: 02/29/2008
Date Made Active in Reports: 04/18/2008
Number of Days to Update: 49

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 03/03/2017
Next Scheduled EDR Contact: 06/12/2017
Data Release Frequency: Varies

US MINES 3: Active Mines & Mineral Plants Database Listing

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011
Date Data Arrived at EDR: 06/08/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 97

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 03/03/2017
Next Scheduled EDR Contact: 06/12/2017
Data Release Frequency: Varies

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 07/15/2016
Date Data Arrived at EDR: 09/07/2016
Date Made Active in Reports: 11/11/2016
Number of Days to Update: 65

Source: EPA
Telephone: (212) 637-3000
Last EDR Contact: 03/06/2017
Next Scheduled EDR Contact: 06/19/2017
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DOCKET HWC: Hazardous Waste Compliance Docket Listing

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 06/02/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/03/2016	Telephone: 202-564-0527
Date Made Active in Reports: 09/02/2016	Last EDR Contact: 02/24/2017
Number of Days to Update: 91	Next Scheduled EDR Contact: 06/12/2017
	Data Release Frequency: Varies

UXO: Unexploded Ordnance Sites

A listing of unexploded ordnance site locations

Date of Government Version: 10/25/2015	Source: Department of Defense
Date Data Arrived at EDR: 01/29/2016	Telephone: 571-373-0407
Date Made Active in Reports: 04/05/2016	Last EDR Contact: 01/20/2017
Number of Days to Update: 67	Next Scheduled EDR Contact: 05/01/2017
	Data Release Frequency: Varies

AIRS: Air Emissions Data

Point source emissions inventory data.

Date of Government Version: 11/09/2016	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 11/18/2016	Telephone: 518-402-8452
Date Made Active in Reports: 01/04/2017	Last EDR Contact: 01/23/2017
Number of Days to Update: 47	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Annually

COAL ASH: Coal Ash Disposal Site Listing

A listing of coal ash disposal site locations.

Date of Government Version: 01/04/2017	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 01/10/2017	Telephone: 518-402-8660
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 01/03/2017
Number of Days to Update: 31	Next Scheduled EDR Contact: 04/17/2017
	Data Release Frequency: Varies

DRYCLEANERS: Registered Drycleaners

A listing of all registered drycleaning facilities.

Date of Government Version: 10/27/2016	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 01/10/2017	Telephone: 518-402-8403
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 03/13/2017
Number of Days to Update: 31	Next Scheduled EDR Contact: 06/26/2017
	Data Release Frequency: Varies

E DESIGNATION: E DESIGNATION SITE LISTING

The (E (Environmental)) designation would ensure that sampling and remediation take place on the subject properties, and would avoid any significant impacts related to hazardous materials at these locations. The (E) designations would require that the fee owner of the sites conduct a testing and sampling protocol, and remediation where appropriate, to the satisfaction of the NYCDEP before the issuance of a building permit by the Department of Buildings pursuant to the provisions of Section 11-15 of the Zoning Resolution (Environmental Requirements). The (E) designations also include a mandatory construction-related health and safety plan which must be approved by NYCDEP.

Date of Government Version: 11/08/2016	Source: New York City Department of City Planning
Date Data Arrived at EDR: 12/27/2016	Telephone: 718-595-6658
Date Made Active in Reports: 02/13/2017	Last EDR Contact: 12/20/2016
Number of Days to Update: 48	Next Scheduled EDR Contact: 04/03/2017
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Financial Assurance 1: Financial Assurance Information Listing

Financial assurance information.

Date of Government Version: 01/03/2017
Date Data Arrived at EDR: 01/04/2017
Date Made Active in Reports: 02/13/2017
Number of Days to Update: 40

Source: Department of Environmental Conservation
Telephone: 518-402-8660
Last EDR Contact: 01/03/2017
Next Scheduled EDR Contact: 04/17/2017
Data Release Frequency: Quarterly

Financial Assurance 2: Financial Assurance Information Listing

A listing of financial assurance information for hazardous waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 12/01/2015
Date Data Arrived at EDR: 12/29/2015
Date Made Active in Reports: 02/11/2016
Number of Days to Update: 44

Source: Department of Environmental Conservation
Telephone: 518-402-8712
Last EDR Contact: 03/13/2017
Next Scheduled EDR Contact: 06/26/2017
Data Release Frequency: Varies

HSWDS: Hazardous Substance Waste Disposal Site Inventory

The list includes any known or suspected hazardous substance waste disposal sites. Also included are sites delisted from the Registry of Inactive Hazardous Waste Disposal Sites and non-Registry sites that U.S. EPA Preliminary Assessment (PA) reports or Site Investigation (SI) reports were prepared. Hazardous Substance Waste Disposal Sites are eligible to be Superfund sites now that the New York State Superfund has been refinanced and changed. This means that the study inventory has served its purpose and will no longer be maintained as a separate entity. The last version of the study inventory is frozen in time. The sites on the study will not automatically be made Superfund sites, rather each site will be further evaluated for listing on the Registry. So overtime they will be added to the registry or not.

Date of Government Version: 01/01/2003
Date Data Arrived at EDR: 10/20/2006
Date Made Active in Reports: 11/30/2006
Number of Days to Update: 41

Source: Department of Environmental Conservation
Telephone: 518-402-9564
Last EDR Contact: 05/26/2009
Next Scheduled EDR Contact: 08/24/2009
Data Release Frequency: No Update Planned

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/30/2017
Date Data Arrived at EDR: 02/01/2017
Date Made Active in Reports: 02/13/2017
Number of Days to Update: 12

Source: Department of Environmental Conservation
Telephone: 518-402-8651
Last EDR Contact: 02/01/2017
Next Scheduled EDR Contact: 05/08/2017
Data Release Frequency: Annually

SPDES: State Pollutant Discharge Elimination System

New York State has a state program which has been approved by the United States Environmental Protection Agency for the control of wastewater and stormwater discharges in accordance with the Clean Water Act. Under New York State law the program is known as the State Pollutant Discharge Elimination System (SPDES) and is broader in scope than that required by the Clean Water Act in that it controls point source discharges to groundwaters as well as surface waters.

Date of Government Version: 01/30/2017
Date Data Arrived at EDR: 02/03/2017
Date Made Active in Reports: 02/22/2017
Number of Days to Update: 19

Source: Department of Environmental Conservation
Telephone: 518-402-8233
Last EDR Contact: 01/23/2017
Next Scheduled EDR Contact: 05/08/2017
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

UIC: Underground Injection Control Wells

A listing of enhanced oil recovery underground injection wells.

Date of Government Version: 12/05/2016
Date Data Arrived at EDR: 12/08/2016
Date Made Active in Reports: 02/13/2017
Number of Days to Update: 67

Source: Department of Environmental Conservation
Telephone: 518-402-8056
Last EDR Contact: 03/08/2017
Next Scheduled EDR Contact: 06/19/2017
Data Release Frequency: Quarterly

ABANDONED MINES: Abandoned Mines

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

Date of Government Version: 06/09/2016
Date Data Arrived at EDR: 06/13/2016
Date Made Active in Reports: 09/02/2016
Number of Days to Update: 81

Source: Department of Interior
Telephone: 202-208-2609
Last EDR Contact: 03/13/2017
Next Scheduled EDR Contact: 06/26/2017
Data Release Frequency: Quarterly

ECHO: Enforcement & Compliance History Information

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

Date of Government Version: 12/11/2016
Date Data Arrived at EDR: 12/20/2016
Date Made Active in Reports: 02/17/2017
Number of Days to Update: 59

Source: Environmental Protection Agency
Telephone: 202-564-2280
Last EDR Contact: 12/20/2016
Next Scheduled EDR Contact: 04/03/2017
Data Release Frequency: Quarterly

FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

Date of Government Version: 11/21/2016
Date Data Arrived at EDR: 11/22/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 73

Source: EPA
Telephone: 800-385-6164
Last EDR Contact: 02/22/2017
Next Scheduled EDR Contact: 06/05/2017
Data Release Frequency: Quarterly

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

EDR Hist Auto: EDR Exclusive Historic Gas Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A	Source: EDR, Inc.
Date Data Arrived at EDR: N/A	Telephone: N/A
Date Made Active in Reports: N/A	Last EDR Contact: N/A
Number of Days to Update: N/A	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

EDR Hist Cleaner: EDR Exclusive Historic Dry Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A	Source: EDR, Inc.
Date Data Arrived at EDR: N/A	Telephone: N/A
Date Made Active in Reports: N/A	Last EDR Contact: N/A
Number of Days to Update: N/A	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA HWS: Recovered Government Archive State Hazardous Waste Facilities List

The EDR Recovered Government Archive State Hazardous Waste database provides a list of SHWS incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Conservation in New York.

Date of Government Version: N/A	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 12/30/2013	Last EDR Contact: 06/01/2012
Number of Days to Update: 182	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

RGA LF: Recovered Government Archive Solid Waste Facilities List

The EDR Recovered Government Archive Landfill database provides a list of landfills derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Conservation in New York.

Date of Government Version: N/A	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 01/10/2014	Last EDR Contact: 06/01/2012
Number of Days to Update: 193	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

COUNTY RECORDS

CORTLAND COUNTY:

Cortland County Storage Tank Listing

A listing of aboveground storage tank sites located in Cortland County.

Date of Government Version: 11/25/2016	Source: Cortland County Health Department
Date Data Arrived at EDR: 12/02/2016	Telephone: 607-753-5035
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 01/30/2017
Number of Days to Update: 70	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Quarterly

Cortland County Storage Tank Listing

A listing of underground storage tank sites located in Cortland County.

Date of Government Version: 11/25/2016	Source: Cortland County Health Department
Date Data Arrived at EDR: 12/02/2016	Telephone: 607-753-5035
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 01/30/2017
Number of Days to Update: 70	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Quarterly

NASSAU COUNTY:

Registered Tank Database

A listing of aboveground storage tank sites located in Nassau County.

Date of Government Version: 01/09/2017	Source: Nassau County Health Department
Date Data Arrived at EDR: 01/11/2017	Telephone: 516-571-3314
Date Made Active in Reports: 02/15/2017	Last EDR Contact: 01/03/2017
Number of Days to Update: 35	Next Scheduled EDR Contact: 04/17/2017
	Data Release Frequency: No Update Planned

Storage Tank Database

A listing of aboveground storage tank sites located in Nassau County.

Date of Government Version: 02/15/2011	Source: Nassau County Office of the Fire Marshal
Date Data Arrived at EDR: 02/23/2011	Telephone: 516-572-1000
Date Made Active in Reports: 03/29/2011	Last EDR Contact: 01/30/2017
Number of Days to Update: 34	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

Registered Tank Database in Nassau County

A listing of facilities in Nassau County with storage tanks.

Date of Government Version: 01/09/2017	Source: Nassau County Department of Health
Date Data Arrived at EDR: 01/11/2017	Telephone: 516-227-9691
Date Made Active in Reports: 02/15/2017	Last EDR Contact: 01/03/2017
Number of Days to Update: 35	Next Scheduled EDR Contact: 04/17/2017
	Data Release Frequency: Varies

Registered Tank Database

A listing of underground storage tank sites located in Nassau County.

Date of Government Version: 01/09/2017	Source: Nassau County Health Department
Date Data Arrived at EDR: 01/11/2017	Telephone: 516-571-3314
Date Made Active in Reports: 02/15/2017	Last EDR Contact: 01/03/2017
Number of Days to Update: 35	Next Scheduled EDR Contact: 04/17/2017
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Storage Tank Database

A listing of underground storage tank sites located in Nassau County.

Date of Government Version: 02/15/2011	Source: Nassau County Office of the Fire Marshal
Date Data Arrived at EDR: 02/23/2011	Telephone: 516-572-1000
Date Made Active in Reports: 03/29/2011	Last EDR Contact: 01/30/2017
Number of Days to Update: 34	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

ROCKLAND COUNTY:

Petroleum Bulk Storage Database

A listing of aboveground storage tank sites located in Rockland County.

Date of Government Version: 12/20/2016	Source: Rockland County Health Department
Date Data Arrived at EDR: 12/21/2016	Telephone: 914-364-2605
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 03/06/2017
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/19/2017
	Data Release Frequency: Quarterly

Petroleum Bulk Storage Database

A listing of underground storage tank sites located in Rockland County.

Date of Government Version: 12/20/2016	Source: Rockland County Health Department
Date Data Arrived at EDR: 12/21/2016	Telephone: 914-364-2605
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 03/06/2017
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/19/2017
	Data Release Frequency: Quarterly

SUFFOLK COUNTY:

Storage Tank Database

A listing of aboveground storage tank sites located in Suffolk County.

Date of Government Version: 03/03/2015	Source: Suffolk County Department of Health Services
Date Data Arrived at EDR: 03/10/2015	Telephone: 631-854-2521
Date Made Active in Reports: 03/23/2015	Last EDR Contact: 01/30/2017
Number of Days to Update: 13	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: No Update Planned

Storage Tank Database

A listing of underground storage tank sites located in Suffolk County.

Date of Government Version: 03/03/2015	Source: Suffolk County Department of Health Services
Date Data Arrived at EDR: 03/10/2015	Telephone: 631-854-2521
Date Made Active in Reports: 03/23/2015	Last EDR Contact: 01/30/2017
Number of Days to Update: 13	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: No Update Planned

WESTCHESTER COUNTY:

Listing of Storage Tanks

A listing of aboveground storage tank sites located in Westchester County.

Date of Government Version: 01/13/2017	Source: Westchester County Department of Health
Date Data Arrived at EDR: 01/20/2017	Telephone: 914-813-5161
Date Made Active in Reports: 02/15/2017	Last EDR Contact: 01/18/2017
Number of Days to Update: 26	Next Scheduled EDR Contact: 05/08/2017
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Listing of Storage Tanks

A listing of underground storage tank sites located in Westchester County.

Date of Government Version: 01/13/2017
Date Data Arrived at EDR: 01/20/2017
Date Made Active in Reports: 02/15/2017
Number of Days to Update: 26

Source: Westchester County Department of Health
Telephone: 914-813-5161
Last EDR Contact: 01/18/2017
Next Scheduled EDR Contact: 05/08/2017
Data Release Frequency: Varies

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 07/30/2013
Date Data Arrived at EDR: 08/19/2013
Date Made Active in Reports: 10/03/2013
Number of Days to Update: 45

Source: Department of Energy & Environmental Protection
Telephone: 860-424-3375
Last EDR Contact: 11/11/2016
Next Scheduled EDR Contact: 02/27/2017
Data Release Frequency: No Update Planned

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2015
Date Data Arrived at EDR: 09/29/2016
Date Made Active in Reports: 01/03/2017
Number of Days to Update: 96

Source: Department of Environmental Protection
Telephone: N/A
Last EDR Contact: 01/09/2017
Next Scheduled EDR Contact: 04/24/2017
Data Release Frequency: Annually

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2015
Date Data Arrived at EDR: 07/22/2016
Date Made Active in Reports: 11/22/2016
Number of Days to Update: 123

Source: Department of Environmental Protection
Telephone: 717-783-8990
Last EDR Contact: 01/12/2017
Next Scheduled EDR Contact: 05/01/2017
Data Release Frequency: Annually

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2013
Date Data Arrived at EDR: 06/19/2015
Date Made Active in Reports: 07/15/2015
Number of Days to Update: 26

Source: Department of Environmental Management
Telephone: 401-222-2797
Last EDR Contact: 02/21/2017
Next Scheduled EDR Contact: 06/05/2017
Data Release Frequency: Annually

VT MANIFEST: Hazardous Waste Manifest Data

Hazardous waste manifest information.

Date of Government Version: 11/07/2016
Date Data Arrived at EDR: 11/18/2016
Date Made Active in Reports: 01/06/2017
Number of Days to Update: 49

Source: Department of Environmental Conservation
Telephone: 802-241-3443
Last EDR Contact: 01/17/2017
Next Scheduled EDR Contact: 05/01/2017
Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2015

Date Data Arrived at EDR: 04/14/2016

Date Made Active in Reports: 06/03/2016

Number of Days to Update: 50

Source: Department of Natural Resources

Telephone: N/A

Last EDR Contact: 03/13/2017

Next Scheduled EDR Contact: 06/26/2017

Data Release Frequency: Annually

Oil/Gas Pipelines

Source: PennWell Corporation

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by PennWell Corporation. This information is provided on a best effort basis and PennWell Corporation does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of PennWell.

Electric Power Transmission Line Data

Source: PennWell Corporation

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Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Day Care Providers

Source: Department of Health

Telephone: 212-676-2444

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Freshwater Wetlands
Source: Department of Environmental Conservation
Telephone: 518-402-8961

Current USGS 7.5 Minute Topographic Map
Source: U.S. Geological Survey

STREET AND ADDRESS INFORMATION

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GEOCHECK[®] - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

KILIAENS LANDING
1489 BROADWAY
RENSSELAER, NY 12144

TARGET PROPERTY COORDINATES

Latitude (North):	42.658915 - 42° 39' 32.09"
Longitude (West):	73.733398 - 73° 44' 0.23"
Universal Tranverse Mercator:	Zone 18
UTM X (Meters):	603811.4
UTM Y (Meters):	4723502.0
Elevation:	28 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map:	5936283 TROY SOUTH, NY
Version Date:	2013
Northwest Map:	5936273 ALBANY, NY
Version Date:	2013

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principal investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

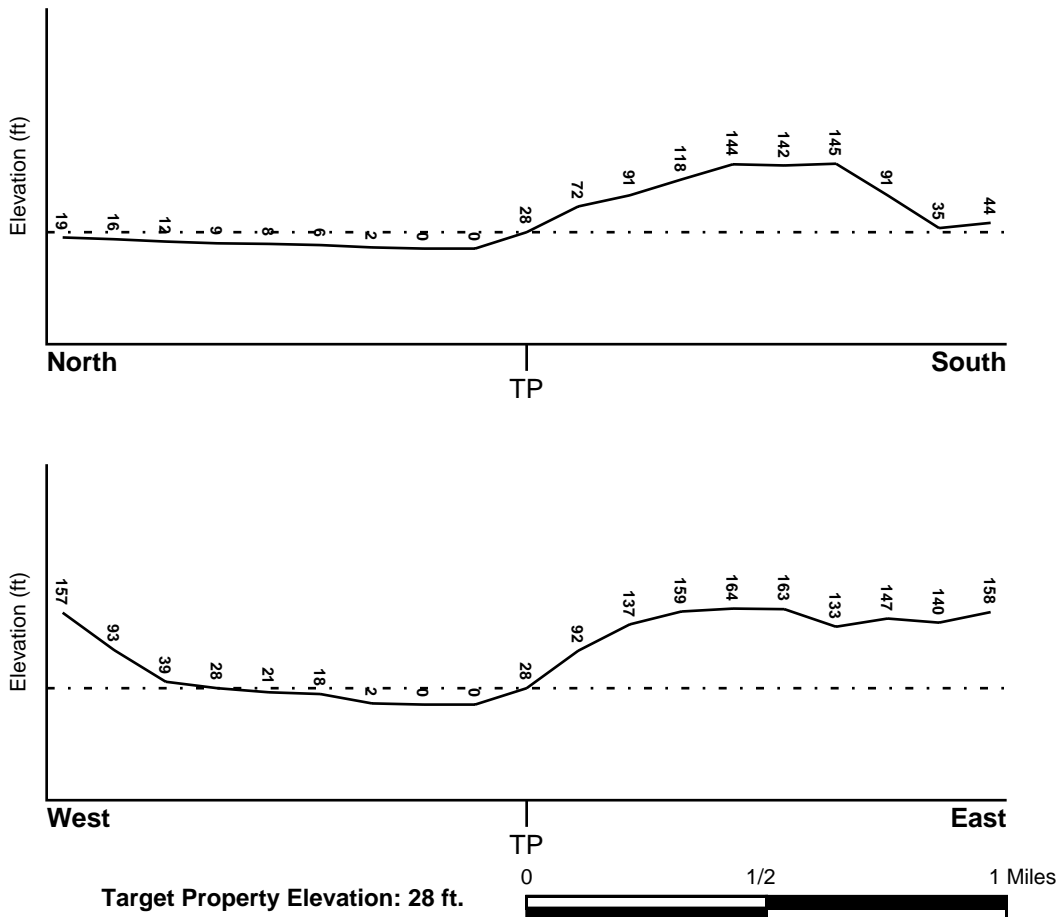
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General NW

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

<u>Flood Plain Panel at Target Property</u>	<u>FEMA Source Type</u>
36001C0211D	FEMA FIRM Flood data
<u>Additional Panels in search area:</u>	<u>FEMA Source Type</u>
36001C0192D	FEMA FIRM Flood data
36001C0212D	FEMA FIRM Flood data
36001C0194D	FEMA FIRM Flood data
36001C0213D	FEMA FIRM Flood data
3611640006A	FEMA Q3 Flood data

NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u>	<u>NWI Electronic Data Coverage</u>
TROY SOUTH	YES - refer to the Overview Map and Detail Map

HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Site-Specific Hydrogeological Data*:

Search Radius:	1.25 miles
Status:	Not found

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
Not Reported		

* ©1996 Site-specific hydrogeological data gathered by CERCLIS Alerts, Inc., Bainbridge Island, WA. All rights reserved. All of the information and opinions presented are those of the cited EPA report(s), which were completed under a Comprehensive Environmental Response Compensation and Liability Information System (CERCLIS) investigation.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

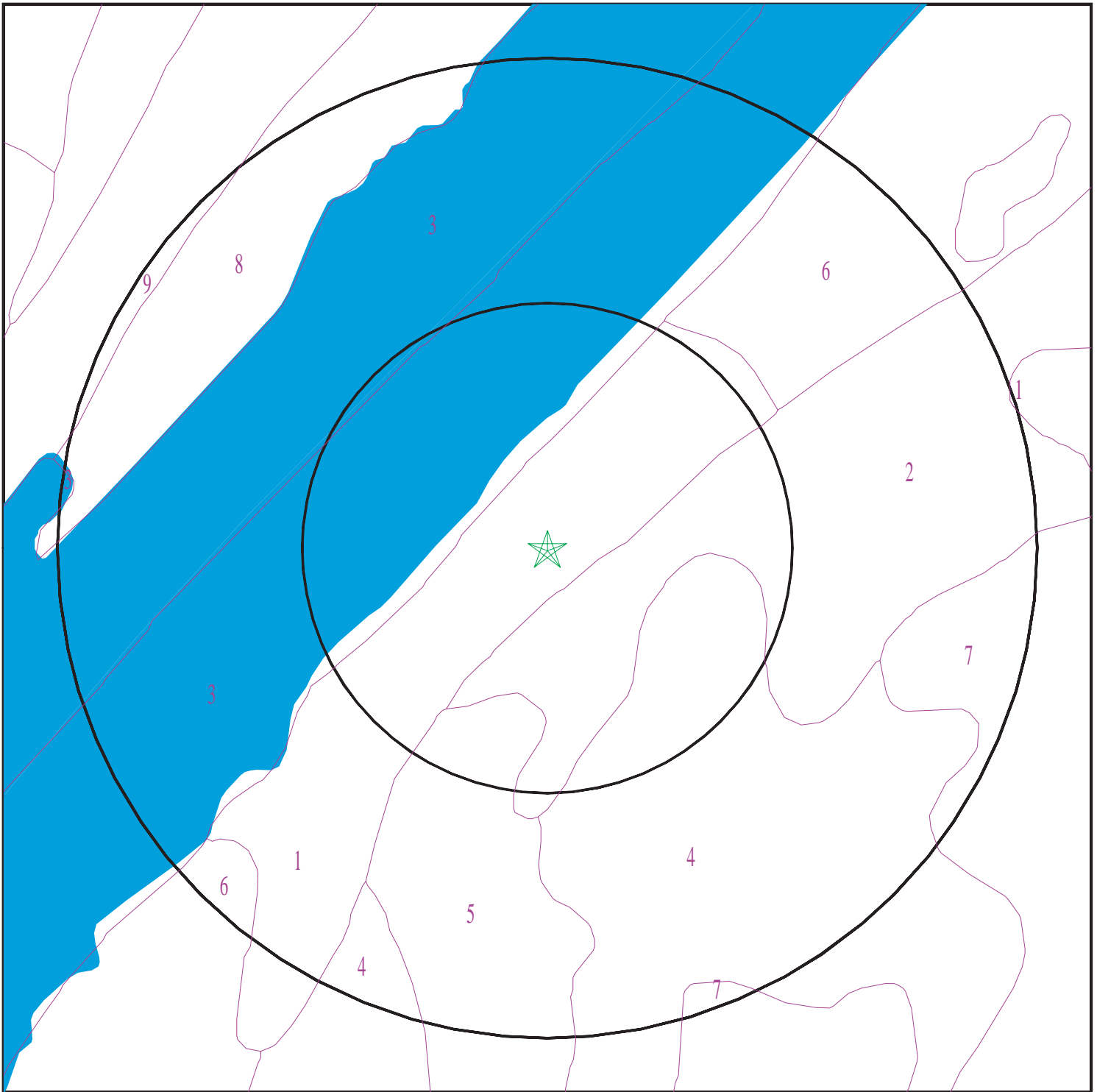
Era:	Paleozoic
System:	Ordovician
Series:	Middle Ordovician (Mohawkian)
Code:	O2 (<i>decoded above as Era, System & Series</i>)

GEOLOGIC AGE IDENTIFICATION

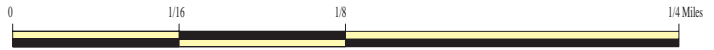
Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

SSURGO SOIL MAP - 4880007.2s



- ★ Target Property
- SSURGO Soil
- Water



SITE NAME: Kiliaens Landing
ADDRESS: 1489 Broadway
Rensselaer NY 12144
LAT/LONG: 42.658915 / 73.733398

CLIENT: Clough, Harbour & Associates
CONTACT: Scott Rosecrans
INQUIRY #: 4880007.2s
DATE: March 15, 2017 1:42 pm

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

Soil Map ID: 1

Soil Component Name: Udorthents

Soil Surface Texture: loam

Hydrologic Group: Class D - Very slow infiltration rates. Soils are clayey, have a high water table, or are shallow to an impervious layer.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 137 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	59 inches	loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay. FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 7.2 Min: 5.1

Soil Map ID: 2

Soil Component Name: Hoosic

Soil Surface Texture: gravelly sandy loam

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class: Somewhat excessively drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	gravelly sandy loam	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 14	Max: 5.5 Min: 4.5
2	9 inches	22 inches	very gravelly sandy loam	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 14	Max: 5.5 Min: 4.5
3	22 inches	59 inches	very gravelly sand	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Gravels, Clean gravels, Poorly Graded Gravel.	Max: 141 Min: 141	Max: 6 Min: 4.5

Soil Map ID: 3

Soil Component Name: Water

Soil Surface Texture: gravelly sandy loam

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class:
Hydric Status: Unknown

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

No Layer Information available.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Map ID: 4

Soil Component Name: Hoosic

Soil Surface Texture: gravelly sandy loam

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class: Somewhat excessively drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	gravelly sandy loam	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 14	Max: 5.5 Min: 4.5
2	9 inches	22 inches	very gravelly sandy loam	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 14	Max: 5.5 Min: 4.5
3	22 inches	59 inches	very gravelly sand	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Gravels, Clean gravels, Poorly Graded Gravel.	Max: 141 Min: 141	Max: 6 Min: 4.5

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Map ID: 5

Soil Component Name: Hoosic

Soil Surface Texture: gravelly sandy loam

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class: Somewhat excessively drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	gravelly sandy loam	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 14	Max: 5.5 Min: 4.5
2	9 inches	22 inches	very gravelly sandy loam	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 14	Max: 5.5 Min: 4.5
3	22 inches	59 inches	very gravelly sand	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Gravels, Clean gravels, Poorly Graded Gravel.	Max: 141 Min: 141	Max: 6 Min: 4.5

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Map ID: 6

Soil Component Name: Udorthents

Soil Surface Texture: very gravelly loamy sand

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class: Excessively drained

Hydric Status: Unknown

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	59 inches	very gravelly loamy sand	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Clean Sands, Poorly graded sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 42	Max: 6 Min: 5.1

Soil Map ID: 7

Soil Component Name: Hoosic

Soil Surface Texture: gravelly sandy loam

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class: Somewhat excessively drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	gravelly sandy loam	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 14	Max: 5.5 Min: 4.5
2	9 inches	22 inches	very gravelly sandy loam	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 14	Max: 5.5 Min: 4.5
3	22 inches	59 inches	very gravelly sand	Granular materials (35 pct. or less passing No. 200), Stone Fragments, Gravel and Sand.	COARSE-GRAINED SOILS, Gravels, Clean gravels, Poorly Graded Gravel.	Max: 141 Min: 141	Max: 6 Min: 4.5

Soil Map ID: 8

Soil Component Name: Udorthents

Soil Surface Texture: loam

Hydrologic Group: Class A/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Moderately well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 137 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	3 inches	loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 141 Min: 0.42	Max: 7.3 Min: 4.5
2	3 inches	70 inches	channery loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 42 Min: 0.42	Max: 8.4 Min: 4.5

Soil Map ID: 9

Soil Component Name: Udorthents

Soil Surface Texture: loam

Hydrologic Group: Class A/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Well drained

Hydric Status: Unknown

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 137 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	3 inches	loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 141 Min: 0.42	Max: 7.3 Min: 4.5

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
2	3 inches	70 inches	channery loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 42 Min: 0.42	Max: 8.4 Min: 4.5

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	0.250
Federal FRDS PWS	Nearest PWS within 0.250 miles
State Database	0.250

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

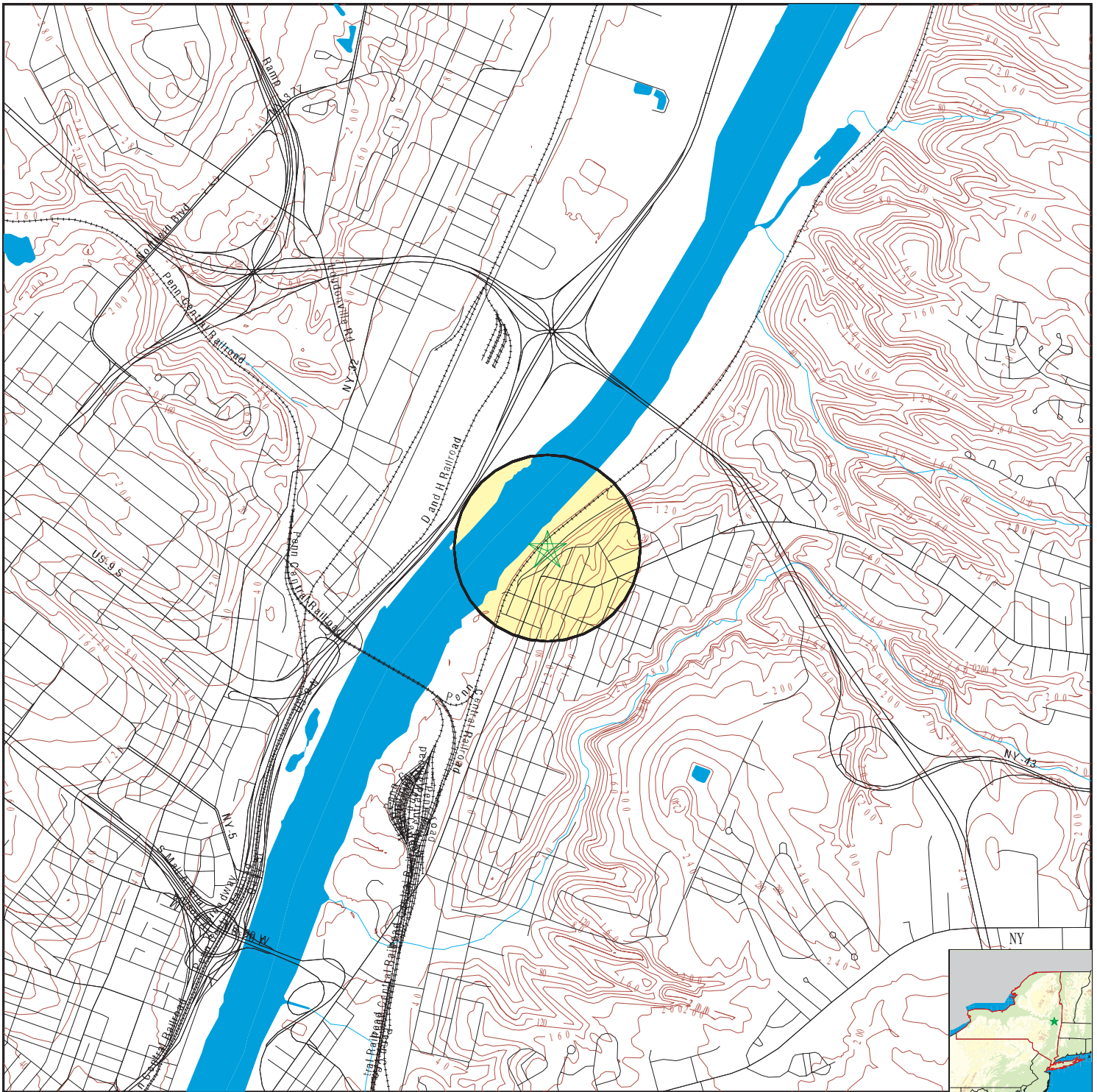
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No PWS System Found		

Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

PHYSICAL SETTING SOURCE MAP - 4880007.2s



- County Boundary
- Major Roads
- Contour Lines
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons



- Groundwater Flow Direction
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Closest Hydrogeological Data
- Oil, gas or related wells



SITE NAME: Kiliaens Landing
 ADDRESS: 1489 Broadway
 Rensselaer NY 12144
 LAT/LONG: 42.658915 / 73.733398

CLIENT: Clough, Harbour & Associates
 CONTACT: Scott Rosecrans
 INQUIRY #: 4880007.2s
 DATE: March 15, 2017 1:42 pm

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

State Database: NY Radon

Radon Test Results

County	Town	Num Tests	Avg Result	Geo Mean	Max Result
RENSSELAER	BERLIN	19	7.79	5.55	25
RENSSELAER	BRUNSWICK	96	7.37	3.67	92.2
RENSSELAER	E. GREENBUSH	220	7.13	3.36	56.1
RENSSELAER	GRAFTON	31	3.83	2.13	17.7
RENSSELAER	HOOSICK	40	3.68	2.57	19.6
RENSSELAER	NASSAU	76	6.56	3.17	38.1
RENSSELAER	NO. GREENBUSH	211	9.06	4.28	130.6
RENSSELAER	PETERSBURG	36	4.69	3.6	22.1
RENSSELAER	PITTSTOWN	27	6.43	2.92	74.2
RENSSELAER	POESTENKILL	48	6.45	4.19	31.4
RENSSELAER	RENSSELAER	122	5.72	2.69	65.3
RENSSELAER	SAND LAKE	169	6.23	3.1	37.7
RENSSELAER	SCHAGHTICOKE	42	5.59	4.02	19.3
RENSSELAER	SCHODACK	247	8.3	4.2	103.2
RENSSELAER	STEPHENTOWN	29	5.35	3.23	23.3
RENSSELAER	TROY	498	5.97	3.08	134.7

Federal EPA Radon Zone for RENSSELAER County: 1

- Note: Zone 1 indoor average level > 4 pCi/L.
- : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.
- : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for RENSSELAER COUNTY, NY

Number of sites tested: 85

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area	1.570 pCi/L	87%	13%	0%
Basement	2.890 pCi/L	66%	31%	4%

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

HYDROLOGIC INFORMATION

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Freshwater Wetlands

Source: Department of Environmental Conservation

Telephone: 518-402-8961

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Service, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

STATE RECORDS

New York Public Water Wells

Source: New York Department of Health

Telephone: 518-458-6731

OTHER STATE DATABASE INFORMATION

Oil and Gas Well Database

Department of Environmental Conservation

Telephone: 518-402-8072

These files contain records, in the database, of wells that have been drilled.

RADON

State Database: NY Radon

Source: Department of Health

Telephone: 518-402-7556

Radon Test Results

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

OTHER

Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary faultlines, prepared in 1975 by the United State Geological Survey

PHYSICAL SETTING SOURCE RECORDS SEARCHED

STREET AND ADDRESS INFORMATION

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Kiliaens Landing

1489 Broadway

Rensselaer, NY 12144

Inquiry Number: 4880007.5

March 16, 2017

The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com



May 14, 2013

Mr. Charles Moore, AICP
Director, Rensselaer Planning and Development Agency
City Hall, 62 Washington Street
Rensselaer, NY 12144

Re: Hilton Center Property
20 Forbes Avenue, Rensselaer, New York
CHA File No. 24718

Dear Mr. Moore:

CHA has completed a preliminary assessment of environmental and building code issues at the property occupied by the Hilton Center, located at 20 Forbes Avenue, Rensselaer, New York (Property). Outlined below is a summary of our field inspection and findings.

A. Environmental Issues

CHA obtained and reviewed a federal and state regulatory database report, prepared by Environmental Data Resources, Inc.(EDR), to aid in identifying past or present documented hazardous waste activities and/or environmental conditions in connection with the Property. According to the EDR report, the Property appears on the “NY Spills” database.

The listing in this database is associated with a July 17, 2008 report of improper disposal of asbestos. The Spills Division of the New York State Department of Environmental Conservation (DEC) referred this incident to the Division of Solid Waste and the spill number that had been assigned to the Site (0804418) was closed on July 18, 2008. The Property was not identified in any of the other federal or state databases searched by EDR. Relevant portions of the EDR report are attached.

On Thursday April 25, 2013, Mr. John Favreau, a Senior Scientist with CHA, visited the Property to conduct field reconnaissance within and around the buildings. Mr. Favreau was accompanied by City of Rensselaer representatives Dan Moore and Will O’Leary, who arranged for access to the Property.

It should be noted that CHA’s assessment and field reconnaissance was limited to buildings with which the City had particular concerns regarding environmental conditions, including Buildings 4, 5, 6, and portions of Buildings 7, 8 and 10, as well as the northern portion of the Property. The following environmental-related conditions/issues were observed during the field reconnaissance:

1. An underground storage tank (UST) was identified adjacent to the south side of Building 4. Stained soil was observed around the vent pipe which extended above the ground surface, indicating a possible overflow of the tank. Based on the odor present, the tank contains fuel oil. The age, capacity, structural integrity and registration status of this tank are unknown. According to the regulatory database report reviewed for the property, there are no registered tanks associated with the site. Further inquiry should be made regarding this tank to obtain the above-referenced information.
2. An underground concrete vessel was identified adjacent to the west side of Building 4. This vessel is identified on historical maps as a "concrete tank". The tank contains an unknown liquid, and the capacity and structural integrity of tank are also unknown. The liquid in the tank should be identified, and if this tank is out of service, it is required to be properly closed.
3. Numerous drums and containers in rusted or otherwise poor condition, containing unknown liquids, were observed within the ground level of Building 5. Several areas of the concrete floor within this building are cracked or otherwise compromised, and in some areas the ground surface is exposed.
4. During the field reconnaissance, City of Rensselaer Code Enforcement representatives observed that several drums and containers of unknown contents had been removed from Building 5 since their previous visit to the site a few weeks ago. The disposition of these drums and containers is unknown.
5. An apparent dumping area for debris was present at the northern end of the property. A significant amount of construction and demolition type debris was visible at the ground surface in this area. Based on the appearance of this area in conjunction with documented past actions of the property owner (including the attempted burial of a PCB-contaminated electrical transformer), there is reason to suspect the dumping and/or burial of potential hazardous waste materials in this area. Test pits should be completed in this area to evaluate subsurface conditions and the potential presence of buried debris.
6. Three apparently inactive 275-gallon heating oil tanks were observed within a storage space at the north end of Building 10, amidst other debris. It is unknown whether these tanks are empty. Staining was observed on the concrete floor beneath the tanks and a fuel oil odor was noted.
7. Suspect asbestos containing materials (ACM), including what appeared to be transite wall board and panels of asbestos insulation were observed on the upper floors of several tenant spaces. An asbestos survey should be completed to evaluate the types and quantities of ACM present within the site buildings.

B. Building Code Violations

On April 26 and May 8, 2013, Paul Richards Senior Code Administrator completed an assessment of code violations for Buildings 1 – 11. The site visits were conducted with the City Code Enforcement Officer, Will O'Leary, and Building Inspector, Dan Moore, on April 26, 2013 and again on May 8, 2013 with Mr. O'Leary to complete the inspection.

The following list includes the building number, location of the building, a description of the violation noted and the relevant code section for the violation.



The code sections cited are contained in the NYS Property Maintenance Code (PMC), The Fire Code of NYS (FC) and The Building Code of NYS (BC), which are all part of The NYS Uniform Fire Prevention and Building Code.

<i>Code Reference</i>	<i>Location</i>	<i>Description</i>
<i>Building 1</i>		
FC 605.5	East Bay Office/Garages	Numerous extension cords.
FC 703.1 & BC 706.3.8	East Bay Office/Garages	Improper fire separation w/office.
FC 703.1 and 703.2.3	East Bay Office/Garages	No fire rated door at office.
FC 1029.7.1	East Bay Office/Garages	No exit signs.
FC 1029.8	East Bay Office/Garages	No emergency lighting.
BC (P) 2902.4	East Bay Office/Garages	Non-compliant rest room.
FC 311 & BC Section 903	East Bay Office/Garages	Inoperable sprinkler system.
<i>Building 2</i>		
<i>Southeast Bay:</i>		
FC 311 & BC Section 903	South End – 2-Bay Garage	Inoperable sprinkler system.
FC 603.5.2	South End – 2-Bay Garage	Furnace non-compliant.
BC 2902.4	South End – 2-Bay Garage	Bathroom non-compliant.
FC 605.6	South End – 2-Bay Garage	Open electric boxes/wiring.
National Electric Code	South End – 2-Bay Garage	Unsecured electric cables.
FC 1029.7.1	South End – 2-Bay Garage	No exit signs.
BC 706.3.8	South End – 2-Bay Garage	Non-compliant fire separation.
FC 311 & BC Section 903	Southwest – First Door	Inoperable sprinkler system.
FC 605.6	Southwest – First Door	Open electric boxes.
National Electric Code	Southwest – First Door	Romex cable non-compliant.
FC 703.1 & BC 706.3.8	Southwest – First Door	Fire separation not compliant.
FC 605.5	Southwest – First Door	Lights powered by lead cord.
FC 605.5	Midwest Bay – North	Lights powered by lead cord.
FC 605.6	Midwest Bay – North	Open electrical boxes.
National Electric Code	Midwest Bay – North	Electrical panel not labeled.
FC 311 & BC Section 903	Midwest Bay – North	Inoperable sprinkler system.
FC 605.5	East Side (Sailboat Stored)	Lights powered by lead cord.
FC 605.5	East Side (Sailboat Stored)	Numerous extension cords daisy chained.
FC 3404.3 – 3404.4	East Side (Sailboat Stored)	Improper storage of flammables/solvents.
FC 703.1	East Side (Sailboat Stored)	Improper fire separation.
FC 311 & BC Section 903	East Side (Sailboat Stored)	Inoperable sprinkler system.
FC Section 1504	East Side (Sailboat Stored)	Spray operations (paint).
FC 603.6	West Side – Second Door	Furnace venting non-compliant.
FC 605.5	West Side – Second Door	Lights powered by lead cord.
FC 311 & BC Section 903	West Side – Second Door	Inoperable sprinkler system.
National Electric Code	West Side – Second Door	Hanging electric cables.
BC 706.3.8 & FC 703.1	West Side – Second Door	Improper fire separation.
FC 605.6	West Side – Second Door	Open electric boxes.



<i>Code Reference</i>	<i>Location</i>	<i>Description</i>
<i>Building 3</i>		
FC Section 901	North Side – Middle Door	Inoperable sprinkler system.
National Electric Code	North Side – Middle Door	Electric wires thru wall.
FC 605.5	North Side – Middle Door	Lights powered by lead cord.
FC 703.1 & BC 706.3.8	North Side – Middle Door	Improper fire separation.
FC 311 & BC Section 903	First Bay	Inoperable sprinkler system.
FC 605.5	First Bay	Lights powered by lead cord.
FC 703.1 & BC 706.3.8	First Bay	Improper fire separation.
FC 603.5.2	First Bay	Furnace non-compliant.
FC 603.6	First Bay	Furnace venting non-compliant.
National Electric Code	First Bay	Unsecured electric wiring.
FC 605.5	Northwest Bay	Lights powered by lead cord.
National Electric Code	Northwest Bay	Unsafe electrical cable.
FC 311 & BC Section 903	Northwest Bay	Inoperable sprinkler system.
National Electric Code	Northwest Bay	Electrical panel not labeled.
National Electric Code	Northwest Bay	Open spaces in electric panel.
FC Section 304	Northwest Bay	Overstocked with storage/clutter.
<i>Building 4</i>		
FC 605.6		Exposed electrical wiring.
FC 311 & BC Section 903		Inoperable sprinkler system.
National Electric Code		Open electric in Electric Room.
FC 1028.3		Blocked stairwell.
<i>Building 5</i>		
FC Section 907	All Spaces	No smoke detection system.
FC Section 907	All Spaces	No fire alarm system.
FC 703.1 & BC 706.3.8	All Spaces	Improper fire separations between tenant spaces.
FC 1029.7.1	All Spaces	Lack of illuminated exit signs.
FC 1029.8	All Spaces	Emergency lighting lacking or inadequate.
FC Section 315	Ground Floor Space	Excessive storage of combustibles, tires, 55-gallon drums full of unknown liquids.
FC 605.5	Ground Floor Space	Excessive use of power strips and extension cords daisy chained.
BC 1205.1	Ground Floor Space	Insufficient lighting.
BC 1204.1	Ground Floor Space	No heat.
FC 1014.2	Second Floor – Owners Storage	Non-compliant exit. Exit leads thru adjoining tenant space.
FC 603.5.2	Second Floor – Owners Storage	Improper furnace installation, fresh air intake from interior not allowed.
BS Section 1104	Second Floor – Architect Office	No handicap access.
BC 1109.2	Second Floor – Architect Office	Rest room not handicap usable.
FC 703.1 & FC 706.3.8	Second Floor – Architect Office	Improper fire separation.



<i>Code Reference</i>	<i>Location</i>	<i>Description</i>
FC 703.1 & FC 703.2.3	Second Floor – Architect Office	No fire rated doors as required.
FC 1029.7	Second Floor – Architect Office	Exit stairs non-compliant.
FC 1017.1	Second Floor – Architect Office	Fire rated exit corridor non-compliant.
FC 311 & BC Section 903	Second Floor – Architect Office	Inoperable sprinkler system.
<i>Building 6</i>		
FC 703.1 & BC 706.3.8	Franks Sign Shop	Improper fire separation.
FC 703.1 & FC 703.2.3	Franks Sign Shop	Entry door not fire rated.
FC 1203.5	Franks Sign Shop	No mechanical ventilation or natural ventilation as required.
BC Section 1205	First Floor	Inadequate lighting.
FC 1019.1 & 1017.3	First Floor	Improper exiting. Stairwell blocked off (dead end).
FC 703.1 & BC 706.3.8	Second Floor	Improper fire separations.
BC Chapter 29	Second Floor	Insufficient rest rooms.
BC Section 903	Second Floor	No sprinkler system.
MC Section 607	Second Floor	No dampers at heat ducts into tenant spaces.
FC 703.1 & 703.2.3	Second Floor	No fire rated doors.
BC Table 508.2	Second Floor	Storage rooms not fire rated.
FC 311 & BC Section 903	Ground Level Garage – West Side	Inoperable sprinkler system.
BC 706.3.8 & FC 703.1	Ground Level Garage – West Side	Improper tenant separation.
FC 605.6	Ground Level Garage – West Side	Open electric boxes.
FC 605.5	Ground Level Garage – West Side	Excessive extension cords, some wired together.
FC 603.4	Granite Shop	Kerosene heater being used for only heat source.
BC 1204.1	Granite Shop	No heat/ventilation or plumbing.
FC 311 & BC Section 911	Granite Shop	Inoperable sprinkler system.
FC 703.1 & BC 706.3.8	Granite Shop	Improper fire separation.
FC 605.6	Granite Shop	Open junction boxes.
FC 605.5	Granite Shop	Numerous extension cords.
FC Sections 1503 & 1504	Piano Area – Ground Floor West	Spray Paint Shop in rear.
BC 1203.1	Piano Area – Ground Floor West	No ventilation.
FC 703.1 & BC 706.3.8	Piano Area – Ground Floor West	Improper fire separation.
FC Section 315	Piano Area – Ground Floor West	Excessive fire load (combustibles).
FC 603.5.2	Piano Area – Ground Floor West	Furnace with no ductwork and improper venting to exterior.
FC 311 & BC Section 911	Piano Area – Ground Floor West	Inoperable sprinkler system.

<i>Code Reference</i>	<i>Location</i>	<i>Description</i>
<i>Building 7</i>		
FC 703.1 & BC 706.3.8	South Tenant	Improper fire separation.
FC 605.6	South Tenant	Open electric/wires.
FC 311 & BC Section 911	South Tenant	Inoperable sprinkler system.
BC Chapter 29	South Tenant	No rest room.
BC 1204.1	South Tenant	No heat.
FC 1503 & 1504	South Tenant	Painting cars (spray).
FC 1503 & 1504	North Bay	Auto painting operation.
FC 703.1 & BC 706.3.8	North Bay	Improper fire separation.
National Electric Code	North Bay	Open electric panel.
FC 311 & BC Section 903	North Bay	Inoperable sprinkler system.
--	North Bay	Plastic containers with unknown contents.
PMC 305.2	North Bay	Structural support lacking at doorway and northwest wall.
<i>Building 8</i>		
FC 3404.2.13.3	Garage (Vacant)	Abandoned fuel oil tanks.
FC 605.6	Garage (Vacant)	Open electrical panel/exposed wiring.
<i>Building 9</i>		
PMC 305.2	Exterior	Large hole in CMU wall.
PMC 305.2	Exterior	CMU crumbling.
PMC 107.1.2	Exterior	Two open shafts (stairwell and elevator).
FC 311 & BC Section 903	Southeast Bay	Inoperable sprinkler system.
PMC 304.1	Southeast Bay	Roof leaking.
FC 703.1 & BC 706.3.8	Southeast Bay	Improper fire separation.
FC 605.6	Southeast Bay	Open electric boxes.
FC 703.1 & FC 703.2.3	Southwest Bay	Improper fire separation.
FC 311 & BC Section 903	Southwest Bay	Inoperable sprinkler system.
PMC 304.1	Southwest Bay	Roof leaking.
BC 1205.1	Southwest Bay	Inadequate lighting.
<i>Building 10</i>		
FC 605.6	Exterior	Exposed wires/connections to exterior lights.
FC 603.6	Exterior	Chimney for wood stove out sidewall. Wall surface charred.
PMC 305.2	Garage – North End	Garage door header not supported.
FC 605.5	Garage – North End	Lights powered by lead cord.
FC 311 & BC Section 903	Garage – North End	Inoperable sprinkler system.
FC 3403.3	Garage – North End	Oil spill on floor.
FC 603.5.2	Garage – North End	Furnace non-compliant.



<i>Code Reference</i>	<i>Location</i>	<i>Description</i>
--	Garage – North End	55-gallon drums?
--	Garage – North End	Solvent containers.
FC 703.1 & 706.3.8	Garage – North End	Improper fire separation.
FC 605.6	Garage – North End	Open junction boxes.
BC 2902.4	Garage – North End	Bathroom non-compliant.
	Northwest Corner	Three 275-gallon fuel tanks (abandoned?)
FC 605.5	Skateboard Area	Lights powered by lead cord.
FC 703.1 & 706.3.8	Skateboard Area	Improper fire separation.
FC 311 & BC Section 903	Skateboard Area	Inoperable sprinkler system.
PMC 304.1	Skateboard Area	Roof leaks.
FC 605.6	Skateboard Area	Open junction boxes and Non-compliant stairs.
FC 605.6	Northeast Corner – Second Floor	Open junction boxes.
FC 1029.7.4	Northeast Corner – Second Floor	No exit signs.
BC 2902.4	Northeast Corner – Second Floor	Unsanitary bathrooms.
BC 1205.1	Northeast Corner – Second Floor	Inadequate lighting.
FC 703.1 & BC 706.3.8	Northeast Corner – Second Floor	Improper fire separation.
FC 311 & BC Section 903	Northeast Corner – Second Floor	Inoperable sprinkler system.
<i>Building 11</i>		
FC 605.6	South End	Open junction boxes.
FC 311 & BC Section 903	South End	Inoperable sprinkler system.
FC 3803.2.1	South End	Propane tanks stored.
FC 703.1 & BC 706.3.8	South End	Improper fire separation.
FC 605.6	South End	Open electrical panels.
FC 605.1	South End	Hanging electrical cables.
PMC 305.2	South End	Exterior stairs and dock crumbling concrete.
FC 1009.10	South End	No railings at exterior stairs.
FC 603.4	South End	Propane heater used for heat.
PMC 305.2	South End	Stairs crumbling.
FC 605.5	South End	Lights powered by lead cord.
FC 703.1 & FC 706.3.8	South End	Incomplete fire separation.
FC 703.2.3	South End	Doors not rated.
PMC 305.2	South End	Structural issues at entry.
FC 311 & BC Section 903	South End	Inoperable sprinkler system.
BC 1205.1	South End	No stairwell lighting.

Please contact me if you have questions. I can be reached at 453-3938 or swilson@chacompanies.com.

Sincerely,



Steven R. Wilson
Vice President



Hilton Center

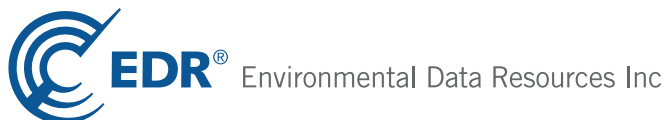
20 Forbes Avenue

Rensselaer, NY 12144

Inquiry Number: 3586102.2s

April 24, 2013

The EDR Radius Map™ Report with GeoCheck®



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Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-05) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

20 FORBES AVENUE
RENSSELAER, NY 12144

COORDINATES

Latitude (North): 42.6592000 - 42° 39' 33.12"
Longitude (West): 73.7329000 - 73° 43' 58.44"
Universal Transverse Mercator: Zone 18
UTM X (Meters): 603851.8
UTM Y (Meters): 4723534.5
Elevation: 28 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 42073-F6 TROY SOUTH, NY
Most Recent Revision: 1980

West Map: 42073-F7 ALBANY, NY
Most Recent Revision: 1994

AERIAL PHOTOGRAPHY IN THIS REPORT

Photo Year: 2011
Source: USDA

TARGET PROPERTY SEARCH RESULTS

The target property was identified in the following records. For more information on this property see page 8 of the attached EDR Radius Map report:

<u>Site</u>	<u>Database(s)</u>	<u>EPA ID</u>
HILTON INDUSTRIAL PARK FORBES AVE FORBES AVE (20?) RENSSELAER, NY	NY Spills Date Closed: 7/18/2008	N/A

EXECUTIVE SUMMARY

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing

Federal CERCLIS NFRAP site List

CERC-NFRAP..... CERCLIS No Further Remedial Action Planned

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-SQG..... RCRA - Small Quantity Generators
RCRA-CESQG..... RCRA - Conditionally Exempt Small Quantity Generator

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System

Federal ERNS list

ERNS..... Emergency Response Notification System

State- and tribal - equivalent CERCLIS

VAPOR REOPENED..... Vapor Intrusion Legacy Site List

State and tribal leaking storage tank lists

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

EXECUTIVE SUMMARY

State and tribal registered storage tank lists

TANKS.....	Storage Tank Facility Listing
CBS UST.....	Chemical Bulk Storage Database
MOSF UST.....	Major Oil Storage Facilities Database
CBS AST.....	Chemical Bulk Storage Database
MOSF AST.....	Major Oil Storage Facilities Database
CBS.....	Chemical Bulk Storage Site Listing
INDIAN UST.....	Underground Storage Tanks on Indian Land
FEMA UST.....	Underground Storage Tank Listing

State and tribal institutional control / engineering control registries

ENG CONTROLS.....	Registry of Engineering Controls
INST CONTROL.....	Registry of Institutional Controls
RES DECL.....	Restrictive Declarations Listing

State and tribal voluntary cleanup sites

INDIAN VCP.....	Voluntary Cleanup Priority Listing
VCP.....	Voluntary Cleanup Agreements

State and tribal Brownfields sites

ERP.....	Environmental Restoration Program Listing
BROWNFIELDS.....	Brownfields Site List

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS.....	A Listing of Brownfields Sites
---------------------	--------------------------------

Local Lists of Landfill / Solid Waste Disposal Sites

DEBRIS REGION 9.....	Torres Martinez Reservation Illegal Dump Site Locations
ODI.....	Open Dump Inventory
SWRCY.....	Registered Recycling Facility List
SWTIRE.....	Registered Waste Tire Storage & Facility List
INDIAN ODI.....	Report on the Status of Open Dumps on Indian Lands

Local Lists of Hazardous waste / Contaminated Sites

US CDL.....	Clandestine Drug Labs
DEL SHWS.....	Delisted Registry Sites
US HIST CDL.....	National Clandestine Laboratory Register

Local Lists of Registered Storage Tanks

HIST AST.....	Historical Petroleum Bulk Storage Database
---------------	--

Local Land Records

LIENS 2.....	CERCLA Lien Information
--------------	-------------------------

EXECUTIVE SUMMARY

LIENS..... Spill Liens Information

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System

Other Ascertainable Records

DOT OPS..... Incident and Accident Data
DOD..... Department of Defense Sites
FUDS..... Formerly Used Defense Sites
UMTRA..... Uranium Mill Tailings Sites
US MINES..... Mines Master Index File
TRIS..... Toxic Chemical Release Inventory System
TSCA..... Toxic Substances Control Act
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing
SSTS..... Section 7 Tracking Systems
ICIS..... Integrated Compliance Information System
PADS..... PCB Activity Database System
MLTS..... Material Licensing Tracking System
RADINFO..... Radiation Information Database
FINDS..... Facility Index System/Facility Registry System
RAATS..... RCRA Administrative Action Tracking System
RMP..... Risk Management Plans
HSWDS..... Hazardous Substance Waste Disposal Site Inventory
UIC..... Underground Injection Control Wells
DRYCLEANERS..... Registered Drycleaners
SPDES..... State Pollutant Discharge Elimination System
AIRS..... Air Emissions Data
E DESIGNATION..... E DESIGNATION SITE LISTING
INDIAN RESERV..... Indian Reservations
SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing
COAL ASH..... Coal Ash Disposal Site Listing
PRP..... Potentially Responsible Parties
COAL ASH EPA..... Coal Combustion Residues Surface Impoundments List
Financial Assurance..... Financial Assurance Information Listing
2020 COR ACTION..... 2020 Corrective Action Program List
US AIRS..... Aerometric Information Retrieval System Facility Subsystem
PCB TRANSFORMER..... PCB Transformer Registration Database
US FIN ASSUR..... Financial Assurance Information
EPA WATCH LIST..... EPA WATCH LIST
COAL ASH DOE..... Steam-Electric Plant Operation Data

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

EXECUTIVE SUMMARY

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: Also known as Superfund, the National Priority List database is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund program. The source of this database is the U.S. EPA.

A review of the NPL list, as provided by EDR, and dated 02/01/2013 has revealed that there is 1 NPL site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	WNW 0 - 1/8 (0.019 mi.)	0	9

Federal CERCLIS list

CERCLIS: The Comprehensive Environmental Response, Compensation and Liability Information System contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

A review of the CERCLIS list, as provided by EDR, and dated 02/04/2013 has revealed that there is 1 CERCLIS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	WNW 0 - 1/8 (0.019 mi.)	0	9

Federal RCRA generators list

RCRA-LQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

A review of the RCRA-LQG list, as provided by EDR, and dated 02/12/2013 has revealed that there are 2 RCRA-LQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	WNW 0 - 1/8 (0.019 mi.)	0	9
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ANTHONY J HILL INC	120 MOSHER RD	SW 1/8 - 1/4 (0.242 mi.)	G30	91

EXECUTIVE SUMMARY

Federal institutional controls / engineering controls registries

US ENG CONTROLS: A listing of sites with engineering controls in place.

A review of the US ENG CONTROLS list, as provided by EDR, and dated 12/19/2012 has revealed that there is 1 US ENG CONTROLS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	WNW 0 - 1/8 (0.019 mi.)	0	9

US INST CONTROL: A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

A review of the US INST CONTROL list, as provided by EDR, and dated 12/19/2012 has revealed that there is 1 US INST CONTROL site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	WNW 0 - 1/8 (0.019 mi.)	0	9

State- and tribal - equivalent CERCLIS

SHWS: The State Hazardous Waste Sites records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. The data come from the Department of Environmental Conservation's Inactive Hazardous waste Disposal Sites in New York State.

A review of the SHWS list, as provided by EDR, and dated 02/19/2013 has revealed that there are 2 SHWS sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
C & F PLATING CO INC Class Code: Significant threat to the public health or environment - action required.	406 NORTH PEARL STREET	WNW 1/2 - 1 (0.651 mi.)	67	192
NIMO YARD BROADWAY	1125 BROADWAY	NNW 1/2 - 1 (0.773 mi.)	N69	208

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: The Solid Waste Facilities/Landfill Sites records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. The data come from the list.

A review of the SWF/LF list, as provided by EDR, and dated 01/07/2013 has revealed that there is 1 SWF/LF site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ALBANY DPW C&D LANDFILL	EAST OF CONNER BLVD AT	NNE 1/4 - 1/2 (0.316 mi.)	39	106

EXECUTIVE SUMMARY

State and tribal leaking storage tank lists

LTANKS: Leaking Storage Tank Incident Reports. These records contain an inventory of reported leaking storage tank incidents reported from 4/1/86 through the most recent update. They can be either leaking underground storage tanks or leaking aboveground storage tanks. The causes of the incidents are tank test failures, tank failures or tank overfills

A review of the LTANKS list, as provided by EDR, and dated 02/19/2013 has revealed that there are 2 LTANKS sites within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
RYDER TRUCK Date Closed: 2/2/1999	ERIE BLVD	W 1/4 - 1/2 (0.478 mi.)	M62	151
RYDER TRUCK RENTAL INC Date Closed: 6/20/1995 Date Closed: 3/22/1989	10 ERIE BLVD E SIDE OF	W 1/4 - 1/2 (0.478 mi.)	M64	156

**Additional key fields are available in the Map Findings section*

HIST LTANKS: A listing of leaking underground and aboveground storage tanks. The causes of the incidents are tank test failures, tank failures or tank overfills. In 2002, the Department of Environmental Conservation stopped providing updates to its original Spills Information Database. This database includes fields that are no longer available from the NYDEC as of January 1, 2002. Current information may be found in the NY LTANKS database.

A review of the HIST LTANKS list, as provided by EDR, and dated 01/01/2002 has revealed that there are 8 HIST LTANKS sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS Date Closed: 02/18/88	NO STREET APPLICABLE	WNW 0 - 1/8 (0.019 mi.)	0	9
CITGO 3RD ST @ WASHINGTON Date Closed: 09/15/94	THIRD ST @ WASHINGTON A	SE 1/8 - 1/4 (0.161 mi.)	8	50
LOUIS POLSINELLO Date Closed: 06/22/95	214 WASHINGTON AVE	E 1/4 - 1/2 (0.346 mi.)	I42	109

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
RENS CO PUMP STA FORBES Date Closed: 12/01/99	FORBES ST AVE	SW 1/4 - 1/2 (0.302 mi.)	H37	102
HUDSON METAL - MOMENT METAL LL Date Closed: 04/08/92	11 N FERRY ST	W 1/4 - 1/2 (0.453 mi.)	53	129
BROOKFORD CORP ERIE BLVD RYDER TRUCK Date Closed: 02/02/99	24 ERIE BLVD ERIE BLVD	NW 1/4 - 1/2 (0.464 mi.) W 1/4 - 1/2 (0.478 mi.)	L60 M62	147 151
RYDER TRUCK RENTAL INC Date Closed: 03/22/89 Date Closed: 04/26/89	10 ERIE BLVD E SIDE OF	W 1/4 - 1/2 (0.478 mi.)	M64	156

**Additional key fields are available in the Map Findings section*

EXECUTIVE SUMMARY

State and tribal registered storage tank lists

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Environmental Conservation's Petroleum Bulk Storage (PBS) Database

A review of the UST list, as provided by EDR, and dated 01/02/2013 has revealed that there are 3 UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
THIRD STREET CITGO	1647 A 3RD ST	SSE 1/8 - 1/4 (0.193 mi.)	E18	63
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FORBES AVE PUMP STATION JELLIFF CORP.	FORBES AVE 5 FORBES RD	ENE 1/8 - 1/4 (0.144 mi.) SW 1/8 - 1/4 (0.222 mi.)	A4 F21	42 70

AST: The Aboveground Storage Tank database contains registered ASTs. The data come from the Department of Environmental Conservation's Petroleum Bulk Storage (PBS) Database.

A review of the AST list, as provided by EDR, and dated 01/02/2013 has revealed that there is 1 AST site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF CORP.	5 FORBES RD	SW 1/8 - 1/4 (0.222 mi.)	F21	70

MOSF: These facilities may be onshore facilities or vessels, with petroleum storage capacities of 400,000 gallons or greater.

A review of the MOSF list, as provided by EDR, and dated 01/02/2013 has revealed that there is 1 MOSF site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
POLSINELLO TERMINAL INC.	FORBES & TRACY STREETS	SW 1/8 - 1/4 (0.241 mi.)	G28	89

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Registered Storage Tanks

HIST UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Environmental Conservation's Petroleum Bulk Storage (PBS) Database

A review of the HIST UST list, as provided by EDR, and dated 01/01/2002 has revealed that there are 3 HIST UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
THIRD STREET CITGO	1647 A 3RD ST	SSE 1/8 - 1/4 (0.193 mi.)	E18	63
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FORBES AVE PUMP STATION	FORBES AVE	ENE 1/8 - 1/4 (0.144 mi.)	A4	42

EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF CORP.	5 FORBES RD	SW 1/8 - 1/4 (0.222 mi.)	F21	70

Records of Emergency Release Reports

NY Spills: Data collected on spills reported to NYSDEC. is required by one or more of the following: Article 12 of the Navigation Law, 6 NYCRR Section 613.8 (from PBS regs), or 6 NYCRR Section 595.2 (from CBS regs). It includes spills active as of April 1, 1986, as well as spills occurring since this date.

A review of the NY Spills list, as provided by EDR, and dated 02/19/2013 has revealed that there are 43 NY Spills sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS Date Closed: 10/31/2003	NO STREET APPLICABLE	WNW 0 - 1/8 (0.019 mi.)	0	9
KET PRODUCTS FORBES AVE HUDSON Date Closed: 7/30/1986	5 FORBES RD HUDSON RIVE	S 0 - 1/8 (0.050 mi.)	2	38
STEPHAN RES BELLVIEW TERR Date Closed: 8/2/2006	50 BELLVIEW TERR	SSE 0 - 1/8 (0.067 mi.)	3	41
KENYON OIL WASHINGTON & 3 Date Closed: 4/17/1990	THIRD ST @ WASHINGTON A	SSE 1/8 - 1/4 (0.158 mi.)	C6	46
CITGO 3RD ST @ WASHINGTON AVE Date Closed: 9/15/1994	3RD ST @ WASHINGTON AVE	SSE 1/8 - 1/4 (0.160 mi.)	C7	48
BARNETT MILLS FORBES AVE OLD J Date Closed: 5/14/1999	FORBES AVE	ENE 1/8 - 1/4 (0.166 mi.)	A9	51
GARAGE PATTEN AVE Date Closed: 11/2/2004	13 PATTEN AVE	ESE 1/8 - 1/4 (0.166 mi.)	B10	54
TEDFORD SECOND ST Date Closed: 2/2/1998	1640 SECOND (2ND) ST	SSE 1/8 - 1/4 (0.169 mi.)	11	57
NIMO TRANSFORMER WASHINGTON Date Closed: 11/13/2003	63 WASHINGTON AVE	SE 1/8 - 1/4 (0.173 mi.)	D12	59
BAGRII RES 4TH ST Date Closed: 10/2/2002	1801 4TH ST	ESE 1/8 - 1/4 (0.189 mi.)	16	61
STEESE RES 3RD ST Date Closed: 1/27/2009	1566 3RD ST	SSE 1/4 - 1/2 (0.266 mi.)	32	94
VAN RENSSELAER SCHOOL WASHINGT Date Closed: 1/12/2009	199 WASHINGTON AVE	E 1/4 - 1/2 (0.295 mi.)	35	99
QUINNVILLE RES CHESTNUT Date Closed: 6/14/1996	55 CHESTNUT ST	ESE 1/4 - 1/2 (0.308 mi.)	38	103
MILLER RES 4TH ST Date Closed: 4/4/2012	1546 4TH ST	SSE 1/4 - 1/2 (0.317 mi.)	40	106
LOUIS POLSINELLO Date Closed: 6/22/1995	214 WASHINGTON AVE	E 1/4 - 1/2 (0.346 mi.)	I42	109
OIL ON RD 3RD ST Date Closed: 6/15/1988	1499 3RD ST	S 1/4 - 1/2 (0.347 mi.)	43	112
NAT GRID TRANSFORMER 1ST ST Date Closed: 5/11/2011	1449 1ST ST	SSW 1/4 - 1/2 (0.390 mi.)	44	114

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BILPUH RES 8TH ST AGWAY Date Closed: 1/3/1996	1939 8TH EIGHTH ST	ESE 1/4 - 1/2 (0.393 mi.)	45	115
8TH ST PARK SEWAGE Date Closed: 4/27/1992	8TH ST PARK	ESE 1/4 - 1/2 (0.398 mi.)	46	117
NIMO BACKHOE WASHINGTON AVE @ Date Closed: 9/27/2007	WASHINGTON AVE @ 8TH ST E	1/4 - 1/2 (0.420 mi.)	47	119
2ND @ CHURCH SEWER FIRE Date Closed: 6/18/1993	SECOND (2ND) @ CHURCH S	S 1/4 - 1/2 (0.435 mi.)	48	120
BOHLEY? GARAGE Date Closed: 10/3/2007	1417 1ST	SSW 1/4 - 1/2 (0.440 mi.)	50	123
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CONRAIL JELLIFF Date Closed: 3/21/1996	FORBES RD	SSW 1/8 - 1/4 (0.215 mi.)	F20	67
JELLIFF CORP Date Closed: 10/20/1995	5 FORBES RD	SW 1/8 - 1/4 (0.222 mi.)	F23	78
HUDSON RIVER TRACY@CENTRL Date Closed: 5/12/1992	CENTRAL @ TRACY HUDSON	SW 1/8 - 1/4 (0.240 mi.)	26	85
DPW TRUCK @ ROBERTS & NICHOLS Date Closed: 12/10/2007	8 TRACY ST	SSW 1/8 - 1/4 (0.240 mi.)	G27	88
HANNANS WASTE TRACY ST Date Closed: 10/13/2006	6 TRACY ST	SW 1/8 - 1/4 (0.242 mi.)	G29	89
I-787 BEFORE I-90 RAMP Date Closed: 4/3/2006	I-787 N BEFORE I-90 RAM	NNW 1/4 - 1/2 (0.269 mi.)	33	95
KET PRODUCTS FORBES RD HUDSON Date Closed: 4/3/1995	FORBES RD	NE 1/4 - 1/2 (0.276 mi.)	34	96
JELLIFF VANDALIZED DRUMS FORBE Date Closed: 5/6/1987	FORBES RD	SW 1/4 - 1/2 (0.302 mi.)	H36	101
NIMO RIVERSIDE SUBSTATION ERIE Date Closed: 3/24/2008	ERIE BLVD RIVERSIDE SUB	WNW 1/4 - 1/2 (0.438 mi.)	49	122
PATROON ISLAND BRIDGE (I-90) D Date Closed: 6/27/1986	UNDER PATROON ISLAND BRNNE	1/4 - 1/2 (0.442 mi.)	51	125
NAT GRID RIVERSIDE SUBSTATION Date Closed: 5/16/2011 Date Closed: 10/24/2012	15 ERIE BLVD	WNW 1/4 - 1/2 (0.449 mi.)	52	127
HUDSON METAL - MOMENT METAL LL Date Closed: 6/9/2009 Date Closed: 4/8/1992	11 N FERRY ST	W 1/4 - 1/2 (0.453 mi.)	53	129
NIMO RIVERSIDE SUBSTATION Date Closed: 3/5/1991	ERIE BLVD	NW 1/4 - 1/2 (0.455 mi.)	J54	137
NIMO RIVERSIDE ERIE BLVD Date Closed: 3/5/1991	ERIE BLVD	NW 1/4 - 1/2 (0.455 mi.)	J55	139
F W WEBB ERIE BLVD Date Closed: 3/15/2000	ERIE BLVD	NW 1/4 - 1/2 (0.455 mi.)	J56	141
NAT GRID TRUCK? ERIE @ THATCHE Date Closed: 3/7/2012	ERIE BLVD @ THATCHER	WNW 1/4 - 1/2 (0.457 mi.)	K57	143

EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
NIMO STORAGE FACILITY ERIE BLV Date Closed: 8/25/2005	13 ERIE BLVD RIVERSIDE	WNW 1/4 - 1/2 (0.458 mi.)	K58	144
HUCK FINN WAREHOUSE Date Closed: 8/24/2000	25 ERIE BLVD	NW 1/4 - 1/2 (0.462 mi.)	L59	145
BROOKFORD CORP ERIE BLVD Date Closed: 10/17/2002	24 ERIE BLVD	NW 1/4 - 1/2 (0.464 mi.)	L60	147
RYDER TRUCK RENTAL INC Date Closed: 5/3/2007 Date Closed: 3/31/1987 <i>*Additional key fields are available in the Map Findings section</i>	10 ERIE BLVD E SIDE OF	W 1/4 - 1/2 (0.478 mi.)	M64	156
JIMMY G'S N. FERRY @ ERIE Date Closed: 12/19/1996	N. FERRY ST @ ERIE	W 1/4 - 1/2 (0.490 mi.)	66	190

NY Hist Spills: This database contains records of chemical and petroleum spill incidents. Under State law, petroleum and hazardous chemical spills that can impact the waters of the state must be reported by the spiller (and, in some cases, by anyone who has knowledge of the spills). In 2002, the Department of Environmental Conservation stopped providing updates to its original Spills Information Database. This database includes fields that are no longer available from the NYDEC as of January 1, 2002. Current information may be found in the NY SPILLS database.

A review of the NY Hist Spills list, as provided by EDR, and dated 01/01/2002 has revealed that there are 25 NY Hist Spills sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
KET PRODUCTS FORBES AVE HUDSON	5 FORBES RD HUDSON RIVE	S 0 - 1/8 (0.050 mi.)	2	38
KENYON OIL WASHINGTON & 3	THIRD ST @ WASHINGTON A	SSE 1/8 - 1/4 (0.158 mi.)	C6	46
BARNETT MILLS FORBES AVE OLD J	FORBES AVE	ENE 1/8 - 1/4 (0.166 mi.)	A9	51
GARAGE PATTEN AVE	13 PATTEN AVE	ESE 1/8 - 1/4 (0.166 mi.)	B10	54
TEDFORD SECOND ST	1640 SECOND (2ND) ST	SSE 1/8 - 1/4 (0.169 mi.)	11	57
QUINNVILLE RES CHESTNUT	55 CHESTNUT ST	ESE 1/4 - 1/2 (0.308 mi.)	38	103
MARSHES GETTY WASHINGTON	208 WASHINGTON AVE 1208	E 1/4 - 1/2 (0.336 mi.)	I41	108
OIL ON RD 3RD ST	1499 3RD ST	S 1/4 - 1/2 (0.347 mi.)	43	112
BILPUH RES 8TH ST AGWAY	1939 8TH EIGHTH ST	ESE 1/4 - 1/2 (0.393 mi.)	45	115
8TH ST PARK SEWAGE	8TH ST PARK	ESE 1/4 - 1/2 (0.398 mi.)	46	117
2ND @ CHURCH SEWER FIRE	SECOND (2ND) @ CHURCH S	S 1/4 - 1/2 (0.435 mi.)	48	120
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CONRAIL JELLIFF	FORBES RD	SSW 1/8 - 1/4 (0.215 mi.)	F20	67
JELLIFF CORP	5 FORBES RD	SW 1/8 - 1/4 (0.222 mi.)	F23	78
HUDSON RIVER TRACY@CENTRL	CENTRAL @ TRACY HUDSON	SW 1/8 - 1/4 (0.240 mi.)	26	85
KET PRODUCTS FORBES RD HUDSON	FORBES RD	NE 1/4 - 1/2 (0.276 mi.)	34	96
PATROON ISLAND BRIDGE (I-90) D	UNDER PATROON ISLAND BRNNE	1/4 - 1/2 (0.442 mi.)	51	125
NIMO RIVERSIDE SUBSTATION	ERIE BLVD	NW 1/4 - 1/2 (0.455 mi.)	J54	137
NIMO RIVERSIDE ERIE BLVD	ERIE BLVD	NW 1/4 - 1/2 (0.455 mi.)	J55	139
F W WEBB ERIE BLVD	ERIE BLVD	NW 1/4 - 1/2 (0.455 mi.)	J56	141
HUCK FINN WAREHOUSE	25 ERIE BLVD	NW 1/4 - 1/2 (0.462 mi.)	L59	145
RYDER TRUCK ERIE BLVD	10 ERIE BLVD	W 1/4 - 1/2 (0.478 mi.)	M61	150
RYDER TRUCK ERIE BLVD	10 ERIE BLVD (N. ALBANY	W 1/4 - 1/2 (0.478 mi.)	M63	155
RYDER TRUCK RENTAL INC	10 ERIE BLVD E SIDE OF	W 1/4 - 1/2 (0.478 mi.)	M64	156
RYDER TRUCK ERIE BLVD	10 ERIE BLVD	W 1/4 - 1/2 (0.478 mi.)	M65	189
JIMMY G'S N. FERRY @ ERIE	N. FERRY ST @ ERIE	W 1/4 - 1/2 (0.490 mi.)	66	190

EXECUTIVE SUMMARY

Other Ascertainable Records

RCRA NonGen / NLR: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 02/12/2013 has revealed that there are 2 RCRA NonGen / NLR sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF CORP	5 FORBES RD	SW 1/8 - 1/4 (0.222 mi.)	F23	78
CITY OF RENSSELAER	6 TRACY ST	SW 1/8 - 1/4 (0.242 mi.)	G31	92

CONSENT: Major Legal settlements that establish responsibility and standards for cleanup at NPL (superfund) sites. Released periodically by U.S. District Courts after settlement by parties to litigation matters.

A review of the CONSENT list, as provided by EDR, and dated 12/31/2011 has revealed that there is 1 CONSENT site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	WNW 0 - 1/8 (0.019 mi.)	0	9

ROD: Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid the cleanup.

A review of the ROD list, as provided by EDR, and dated 12/18/2012 has revealed that there is 1 ROD site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUDSON RIVER PCBS	NO STREET APPLICABLE	WNW 0 - 1/8 (0.019 mi.)	0	9

MANIFEST: Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

A review of the MANIFEST list, as provided by EDR, and dated 02/01/2013 has revealed that there are 2 MANIFEST sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JELLIFF CORP	5 FORBES RD	SW 1/8 - 1/4 (0.222 mi.)	F23	78
HANNANS WASTE TRACY ST	6 TRACY ST	SW 1/8 - 1/4 (0.242 mi.)	G29	89

EXECUTIVE SUMMARY

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

A review of the EDR MGP list, as provided by EDR, has revealed that there is 1 EDR MGP site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
NIMO - NORTH ALBANY MGP	1125 BROADWAY	NNW 1/2 - 1 (0.773 mi.)	N68	208

EDR US Hist Auto Stat: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR US Hist Auto Stat list, as provided by EDR, has revealed that there are 8 EDR US Hist Auto Stat sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BILLS GARAGE	1 PATTEN AVE	ESE 1/8 - 1/4 (0.153 mi.)	B5	46
CLUMS MOBILE STATION	65 WASHINGTON AVE	SE 1/8 - 1/4 (0.178 mi.)	D14	60
GRAYS RED CITIES SERV STA	1649 3RD ST	SSE 1/8 - 1/4 (0.192 mi.)	E17	62
WICKS SERV STA	1647 3RD ST	SSE 1/8 - 1/4 (0.193 mi.)	E19	67

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported	4 FORBES AVE	SW 1/8 - 1/4 (0.187 mi.)	15	60
Not reported	5 FORBES AVE	SW 1/8 - 1/4 (0.222 mi.)	F22	77
Not reported	1 FORBES AVE	SW 1/8 - 1/4 (0.239 mi.)	G24	85
Not reported	2 FORBES AVE	SW 1/8 - 1/4 (0.240 mi.)	G25	85

EDR US Hist Cleaners: EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical

EXECUTIVE SUMMARY

Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR US Hist Cleaners list, as provided by EDR, has revealed that there is 1 EDR US Hist Cleaners site within approximately 0.25 miles of the target property.

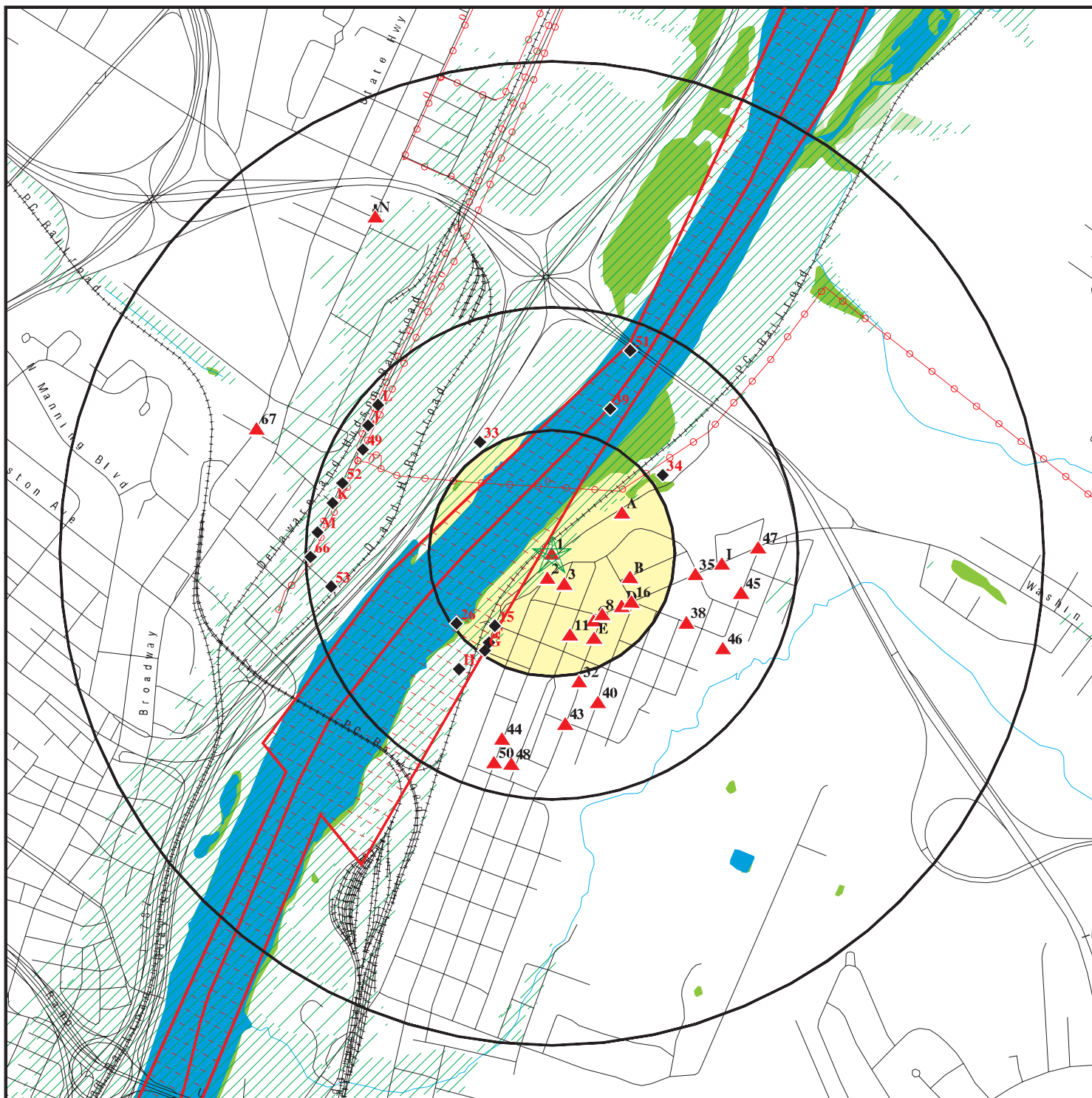
<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
LEONARDS CLEANERS	63 WASHINGTON AVE	SE 1/8 - 1/4 (0.173 mi.)	D13	60

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 31 records.

<u>Site Name</u>	<u>Database(s)</u>
NEW YORK TELEPHONE	TANKS
NYSDOT BIN 1092511	MANIFEST
NYSDOT BIN 1092512	MANIFEST
NYSDOT BIN 1000190	MANIFEST
NYSDOT	MANIFEST
GLENMONT JOB CORP.	MANIFEST
ALBANY STEAM STATION	MANIFEST
ID NOT IN TRANSPORTER FILE	MANIFEST
NIAGARA MOHAWK POWER CORP.	MANIFEST
PSE&G ALBANY STEAM STATION	MANIFEST
NYSDOT	MANIFEST
CUMBERLAND FARMS	FINDS,RCRA-NLR,MANIFEST,MANIFEST
AMERADA HESS CORP	FINDS,RCRA-NLR,MANIFEST
CUMBERLAND FARMS	FINDS,RCRA-CESQG,MANIFEST
NYSDEC	MANIFEST
S/N PRECISION ENTERPRISES	FINDS,RCRA-NLR,MANIFEST
HEWITT FARMS INC	UST
PARK EAST VENTURES, INC.	UST
HEWITT FARMS INC	AST
NYSDOT RTE 2 OVER POESTENKILL CREE	FINDS,RCRA-LQG
NYSDOT BIN 107086E	RCRA-LQG
NEW YORK TELEPHONE CO	FINDS,RCRA-NLR
NYSDOT BIN 1092630	FINDS,RCRA-NLR
TWO GUYS STORE - VACANT	FINDS,RCRA-NLR
NYSDOT BIN 2202220	FINDS,RCRA-NLR
BRUNSWICK SQUARE/SHOPPING CENTER	FINDS
CENTER BRUNSWICK FIRE STATION	FINDS
TROY OAKWOOD SERVICE CENTER	FINDS
WILLAM J. KELLER & SONS CONSTRUCTI	MINES
HEWITT FARMS INC	HIST UST
NEW YORK TELEPHONE	HIST UST

OVERVIEW MAP - 3586102.2s



★ Target Property

▲ Sites at elevations higher than or equal to the target property

◆ Sites at elevations lower than the target property

▲ Manufactured Gas Plants

■ National Priority List Sites

■ Dept. Defense Sites

■ Indian Reservations BIA

— County Boundary

— Power transmission lines

— Oil & Gas pipelines from USGS

■ 100-year flood zone

■ 500-year flood zone

■ National Wetland Inventory

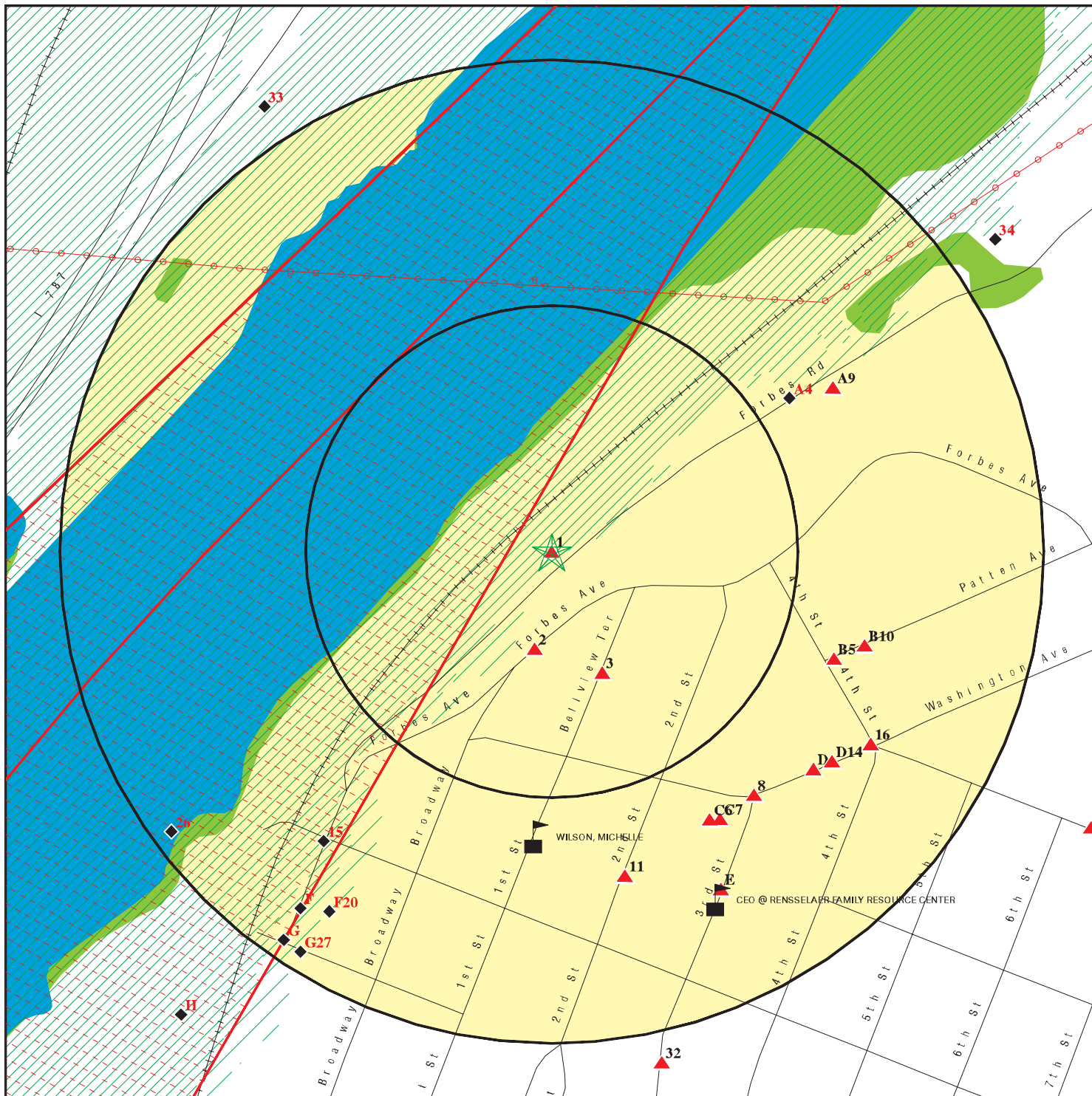
■ State Wetlands

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Hilton Center
 ADDRESS: 20 Forbes Avenue
 Rensselaer NY 12144
 LAT/LONG: 42.6592 / 73.7329

CLIENT: Clough, Harbour & Associates
 CONTACT: Scott Rosecrans
 INQUIRY #: 3586102.2s
 DATE: April 24, 2013 3:59 pm

DETAIL MAP - 3586102.2s



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ⬮ Manufactured Gas Plants
- ⬮ Sensitive Receptors
- ▣ National Priority List Sites
- ▣ Dept. Defense Sites
- ▨ Indian Reservations BIA
- ⚡ County Boundary
- ⚡ Power transmission lines
- ⚡ Oil & Gas pipelines from USGS
- ▨ 100-year flood zone
- ▨ 500-year flood zone
- ▨ National Wetland Inventory
- ▨ State Wetlands

<p>SITE NAME: Hilton Center ADDRESS: 20 Forbes Avenue Rensselaer NY 12144 LAT/LONG: 42.6592 / 73.7329</p>	<p>CLIENT: Clough, Harbour & Associates CONTACT: Scott Rosecrans INQUIRY #: 3586102.2s DATE: April 24, 2013 4:00 pm</p>
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This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		1	0	0	0	NR	1
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	TP		NR	NR	NR	NR	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
CERCLIS	0.500		1	0	0	NR	NR	1
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
<i>Federal CERCLIS NFRAP site List</i>								
CERC-NFRAP	0.500		0	0	0	NR	NR	0
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		1	1	NR	NR	NR	2
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-CESQG	0.250		0	0	NR	NR	NR	0
<i>Federal institutional controls / engineering controls registries</i>								
US ENG CONTROLS	0.500		1	0	0	NR	NR	1
US INST CONTROL	0.500		1	0	0	NR	NR	1
LUCIS	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	0	0	2	NR	2
VAPOR REOPENED	1.000		0	0	0	0	NR	0
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/LF	0.500		0	0	1	NR	NR	1
<i>State and tribal leaking storage tank lists</i>								
LTANKS	0.500		0	0	2	NR	NR	2
HIST LTANKS	0.500		1	1	6	NR	NR	8
INDIAN LUST	0.500		0	0	0	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
State and tribal registered storage tank lists								
TANKS	0.250		0	0	NR	NR	NR	0
UST	0.250		0	3	NR	NR	NR	3
CBS UST	0.250		0	0	NR	NR	NR	0
MOSF UST	0.500		0	0	0	NR	NR	0
AST	0.250		0	1	NR	NR	NR	1
CBS AST	0.250		0	0	NR	NR	NR	0
MOSF AST	0.500		0	0	0	NR	NR	0
MOSF	0.500		0	1	0	NR	NR	1
CBS	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
FEMA UST	0.250		0	0	NR	NR	NR	0
State and tribal institutional control / engineering control registries								
ENG CONTROLS	0.500		0	0	0	NR	NR	0
INST CONTROL	0.500		0	0	0	NR	NR	0
RES DECL	0.125		0	NR	NR	NR	NR	0
State and tribal voluntary cleanup sites								
INDIAN VCP	0.500		0	0	0	NR	NR	0
VCP	0.500		0	0	0	NR	NR	0
State and tribal Brownfields sites								
ERP	0.500		0	0	0	NR	NR	0
BROWNFIELDS	0.500		0	0	0	NR	NR	0
ADDITIONAL ENVIRONMENTAL RECORDS								
Local Brownfield lists								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
Local Lists of Landfill / Solid Waste Disposal Sites								
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	0	NR	NR	0
SWTIRE	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
Local Lists of Hazardous waste / Contaminated Sites								
US CDL	TP		NR	NR	NR	NR	NR	0
DEL SHWS	1.000		0	0	0	0	NR	0
US HIST CDL	TP		NR	NR	NR	NR	NR	0
Local Lists of Registered Storage Tanks								
HIST UST	0.250		0	3	NR	NR	NR	3
HIST AST	TP		NR	NR	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
Local Land Records								
LIENS 2	TP		NR	NR	NR	NR	NR	0
LIENS	TP		NR	NR	NR	NR	NR	0
Records of Emergency Release Reports								
HMIRS	TP		NR	NR	NR	NR	NR	0
NY Spills	0.500	1	3	12	28	NR	NR	44
NY Hist Spills	0.500		1	7	17	NR	NR	25
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		0	2	NR	NR	NR	2
DOT OPS	TP		NR	NR	NR	NR	NR	0
DOD	1.000		0	0	0	0	NR	0
FUDS	1.000		0	0	0	0	NR	0
CONSENT	1.000		1	0	0	0	NR	1
ROD	1.000		1	0	0	0	NR	1
UMTRA	0.500		0	0	0	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
HSWDS	0.500		0	0	0	NR	NR	0
UIC	TP		NR	NR	NR	NR	NR	0
MANIFEST	0.250		0	2	NR	NR	NR	2
DRYCLEANERS	0.250		0	0	NR	NR	NR	0
SPDES	TP		NR	NR	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
E DESIGNATION	0.125		0	NR	NR	NR	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
COAL ASH	0.500		0	0	0	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
Financial Assurance	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP	1.000		0	0	0	1	NR	1
---------	-------	--	---	---	---	---	----	---

MAP FINDINGS SUMMARY

<u>Database</u>	<u>Search Distance (Miles)</u>	<u>Target Property</u>	<u>< 1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>> 1</u>	<u>Total Plotted</u>
EDR US Hist Auto Stat	0.250		0	8	NR	NR	NR	8
EDR US Hist Cleaners	0.250		0	1	NR	NR	NR	1

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1 **HILTON INDUSTRIAL PARK FORBES AVE ASBESTOS?**
Target **FORBES AVE (20?)**
Property **RENSSELAER, NY**

NY Spills **S109206307**
 N/A

Actual:
28 ft.

SPILLS:

Facility ID: 0804418
DER Facility ID: 350574
Facility Type: ER
Site ID: 401326
DEC Region: 4
Spill Date: 7/17/2008
Spill Number/Closed Date: 0804418 / 7/18/2008
Spill Cause: Deliberate
Spill Class: Known release that creates potential for fire or hazard. (Not Possible)

SWIS:

Investigator: WEBLAIN
Referred To: Not reported
Reported to Dept: 7/17/2008
CID: 406
Water Affected: Not reported
Spill Source: Commercial/Industrial
Spill Notifier: Local Agency
Cleanup Ceased: Not reported
Cleanup Meets Std: True
Last Inspection: Not reported
Recommended Penalty: False
UST Trust: False
Remediation Phase: 0
Date Entered In Computer: 7/17/2008
Spill Record Last Update: 11/26/2012
Spiller Name: BRUCE MALACHUK
Spiller Company: HILTON INDUSTRIAL PARK
Spiller Address: BLDG. 6 RM. 4
Spiller City,St,Zip: RENSSELAER, NY
Spiller Company: 001
Contact Name: BRUCE MALACHUK
Contact Phone: (518) 209-9773
DEC Memo: referred to Solid Waste. closed
Remarks: Asbestos piping running throughout the building. Caller says Bruce Malachuk disposes of asbestos not according to code. Caller would like DEC to go to the location to investigate as soon as possible. William Mgloughlin cell 858-1898 or Dan Morre Building and Zoning administrator cell 788-5903

Material:

Site ID: 401326
Operable Unit ID: 1158118
Operable Unit: 01
Material ID: 2149172
Material Code: 0026A
Material Name: ASBESTOS
Case No.: 01332214
Material FA: Hazardous Material
Quantity: Not reported
Units: Gallons
Recovered: No
Resource Affected: Not reported
Oxygenate: False

HUDSON RIVER

PIPE CROSSING AGREEMENT 3/22/07

112'-1"
BK 392, PG. 164
(BK 308, PG. 19)
20.5
20.3

SUBJECT TO EASEMENT OVER EASTERN 30'

GRAVEL ROAD WITH SINGULAR SLOPE (WC)

TOGETHER WITH RIGHTS OF ACCESS GRANTED BY FORBES MANOR REALTY CORP BY BOOK 308, PG. 19

PROPOSED EASEMENT 13'-4" (RENSSELAER COUNTY SEWER DISTRICT)

WILLIAM P. VAN RENSSELAER ESTATE CORPORATION TO WILLIAM BARNET & SON, INC. 10/20/59, REC 10/20/59 BY 20.10

LOADING DOCK

BRICK MILL BLDG

#5

#6

BRICK BLDG

#4

BRICK OFFICE BLDG

#2
BK 567
PG 70
COAL BLDG

#1
BOILER HOUSE

STNG (LUS'D)

AVAILABLE PARKING AREAS

TRANSFORMERS

EXISTING PARKING AREAS

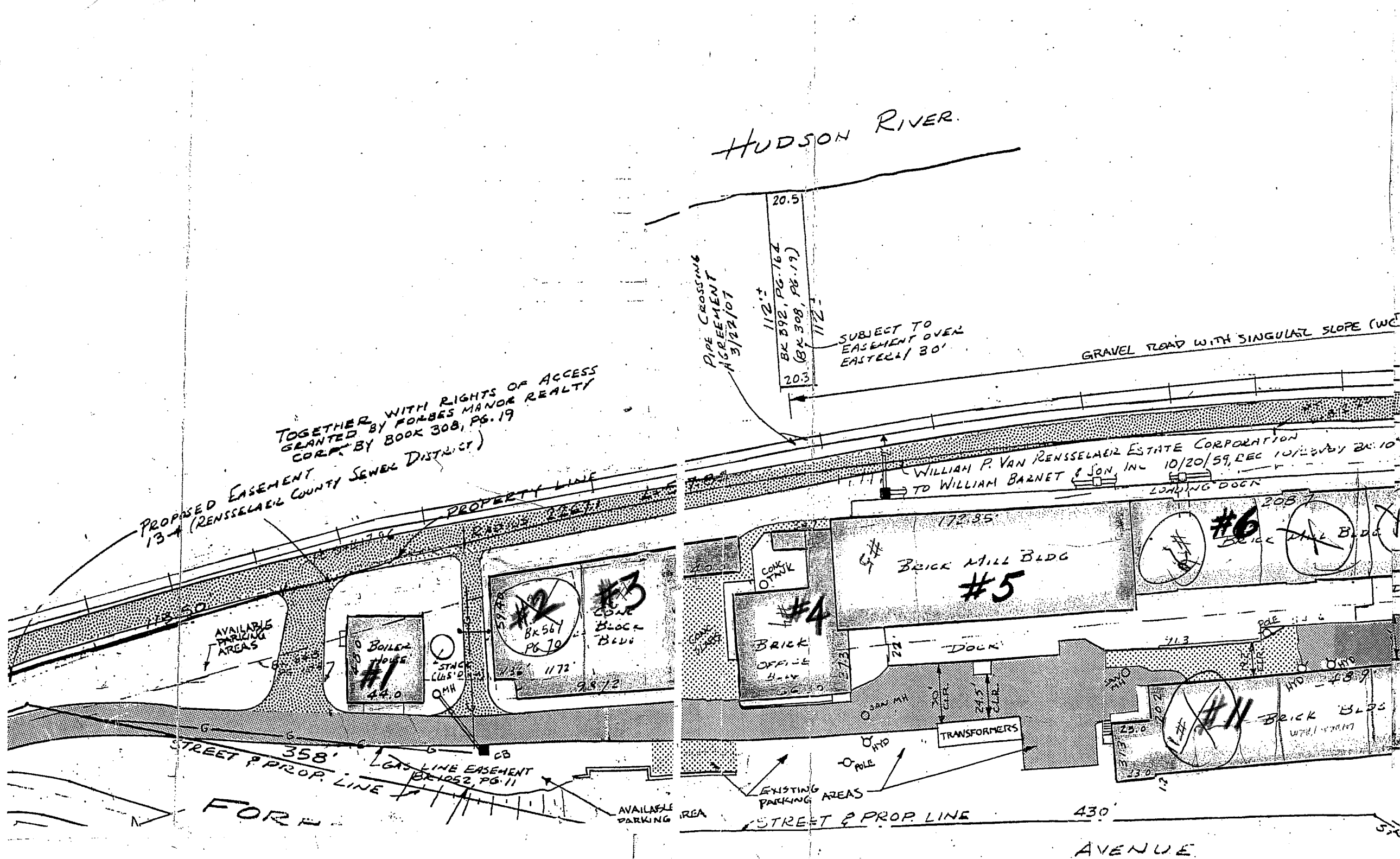
FOR

AVAILABLE PARKING AREA

STREET & PROP. LINE

430'

AVENUE





0 EAST)

-EXISTING R.A TRACK
TROY AND GREENBUSH RAILROAD

PROPOSED EASEMENT 13-2
(RENSELAER COUNTY S&HR DISTRICT)

PROPERTY LINE 11,663.2

RR SIDING

REPUTED UNDERDRAIN
CURRENT AVAILABLE PARKING 113.6

100.05
#9
BLDG
RAMP

BOOK 392, PG 164
(FIRST PARCEL)

AVAILABLE PARKING AREAS

CONTINUES

POTENTIAL TURN AROUND AREAS

BOOK 392, PG 164 - PARCEL 1

AVAILABLE PARKING AREA
BOOK 570, PG 75

APPROXIMATE TOE OF SLOPE

PROPERTY LINE 293.77

127.4
PROP. LINE

111.5
PROP. LINE

PROPERTY LINE 189.0

78:45
34.75
2.1

75
90:00
PROP. LINE

POLE

POLE

70:00

90:00

34.75
2.1



Kiliaens Landing

1489 Broadway

Rensselaer, NY 12144

Inquiry Number: 4880007.3

March 17, 2017

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Certified Sanborn® Map Report

03/17/17

Site Name:

Kiliaens Landing
1489 Broadway
Rensselaer, NY 12144
EDR Inquiry # 4880007.3

Client Name:

Clough, Harbour & Associates
3 Winners Circle
Albany, NY 12205
Contact: Scott Rosecrans



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Certification # 6CA2-4A05-AF07

PO # 29703

Project Kiliaens Landing

Maps Provided:

- 1967
- 1949
- 1925



Sanborn® Library search results

Certification #: 6CA2-4A05-AF07

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- Library of Congress
- University Publications of America
- EDR Private Collection

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Sanborn Sheet Key

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1967 Source Sheets



Volume 1, Sheet 17
1967

1949 Source Sheets

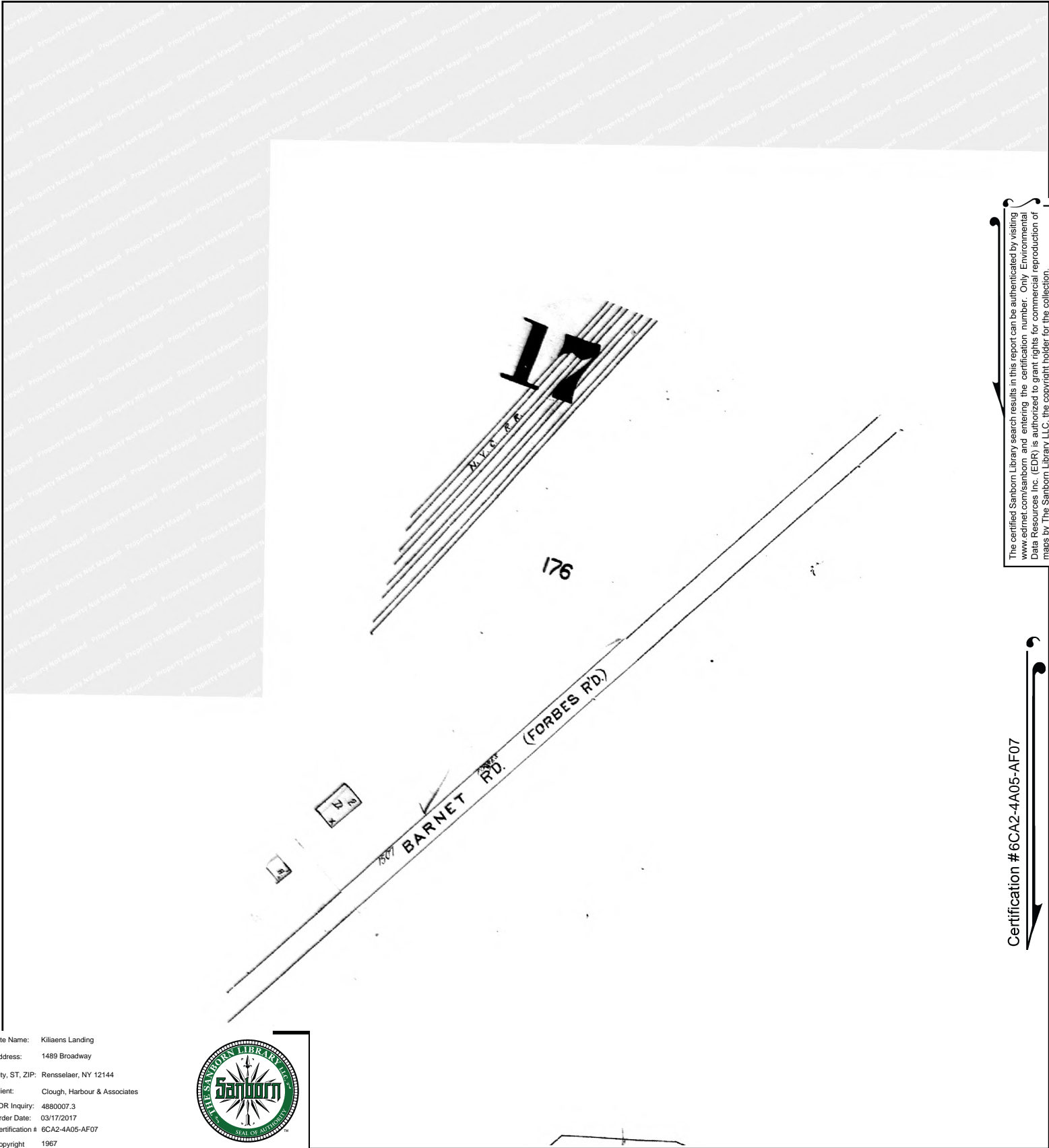


Volume 1, Sheet 17
1949

1925 Source Sheets



Volume 1, Sheet 17
1925



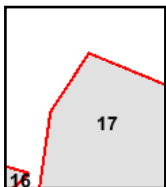
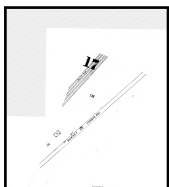
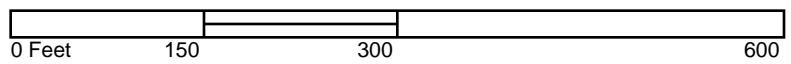
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Certification #6CA2-4A05-AF07

Site Name: Killas Landing
 Address: 1489 Broadway
 City, ST, ZIP: Rensselaer, NY 12144
 Client: Clough, Harbour & Associates
 EDR Inquiry: 4880007.3
 Order Date: 03/17/2017
 Certification # 6CA2-4A05-AF07
 Copyright 1967

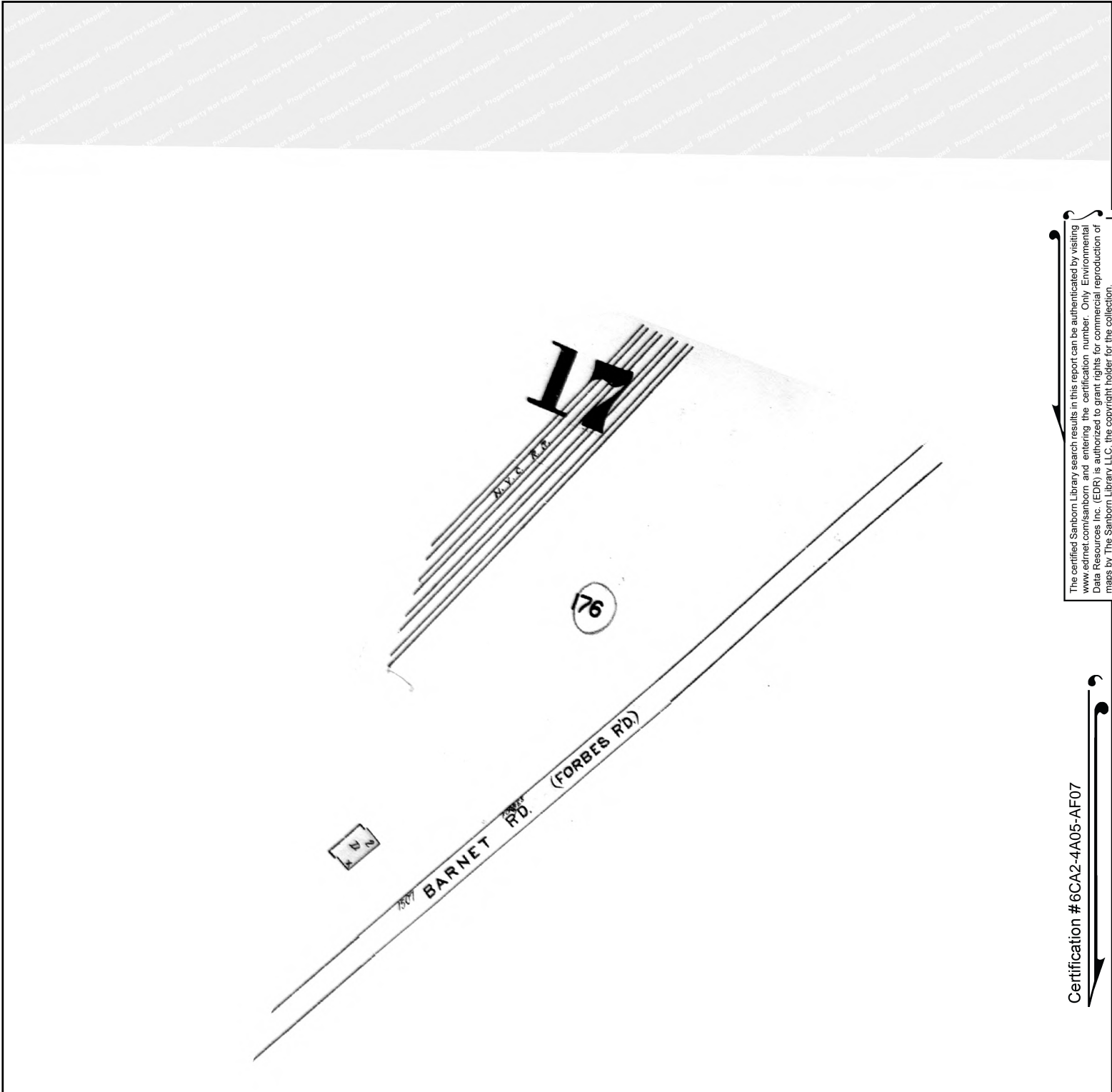


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Volume 1, Sheet 17





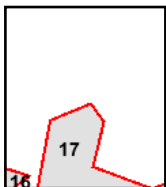
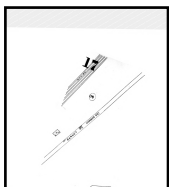
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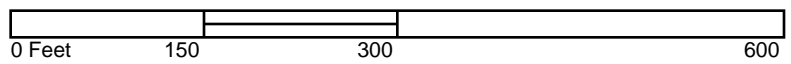
Site Name: Killians Landing
 Address: 1489 Broadway
 City, ST, ZIP: Rensselaer, NY 12144
 Client: Clough, Harbour & Associates
 EDR Inquiry: 4880007.3
 Order Date: 03/17/2017
 Certification # 6CA2-4A05-AF07
 Copyright 1949

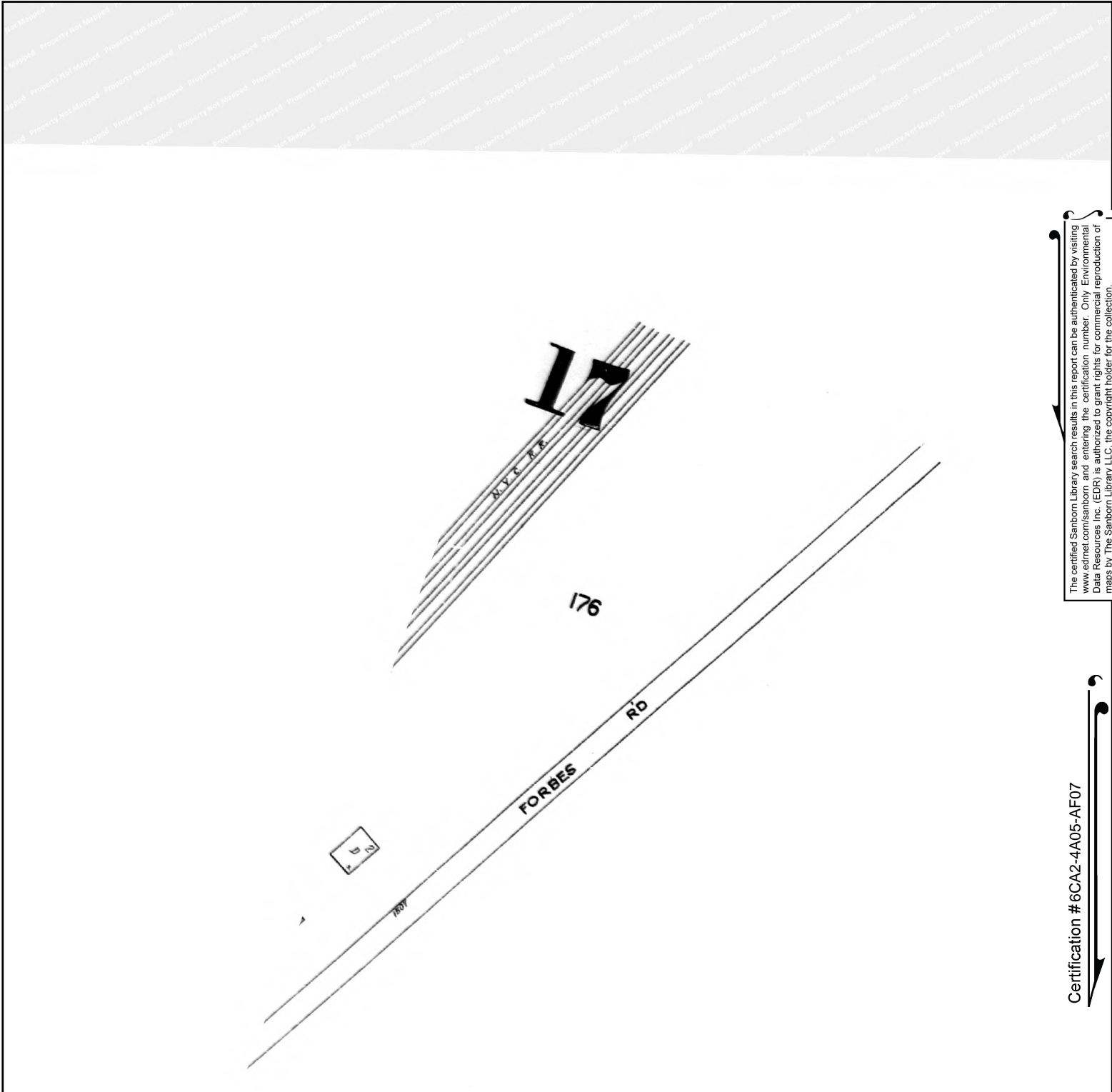


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Volume 1, Sheet 17

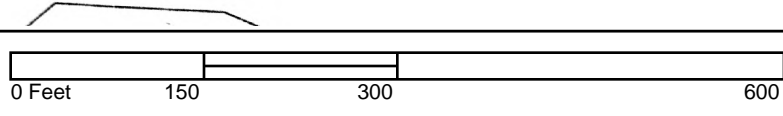




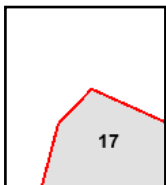
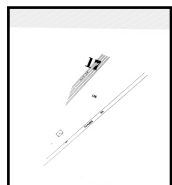
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Certification #6CA2-4A05-AF07

Site Name: Killaeus Landing
 Address: 1489 Broadway
 City, ST, ZIP: Rensselaer, NY 12144
 Client: Clough, Harbour & Associates
 EDR Inquiry: 4880007.3
 Order Date: 03/17/2017
 Certification #: 6CA2-4A05-AF07
 Copyright: 1925



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Volume 1, Sheet 17





Kiliaens Landing

1489 Broadway

Rensselaer, NY 12144

Inquiry Number: 4880007.3

March 17, 2017

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Certified Sanborn® Map Report

03/17/17

Site Name:

Kiliaens Landing
1489 Broadway
Rensselaer, NY 12144
EDR Inquiry # 4880007.3

Client Name:

Clough, Harbour & Associates
3 Winners Circle
Albany, NY 12205
Contact: Scott Rosecrans



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Certified Sanborn Results:

Certification # 6CA2-4A05-AF07

PO # 29703

Project Kiliaens Landing

Maps Provided:

- 1997
- 1993
- 1992
- 1989
- 1951
- 1935
- 1909



Sanborn® Library search results

Certification #: 6CA2-4A05-AF07

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Sanborn Sheet Key

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1997 Source Sheets



Volume 3, Sheet 309
1997

1993 Source Sheets



Volume 3, Sheet 309
1993

1992 Source Sheets



Volume 3, Sheet 309
1992

1989 Source Sheets



Volume 3, Sheet 309
1989

Sanborn Sheet Key

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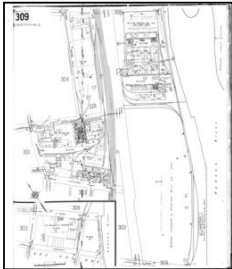


1951 Source Sheets



Volume 2, Sheet 309
1951

1935 Source Sheets



Volume 2, Sheet 309
1935

1909 Source Sheets



Volume 1, Sheet 21
1909



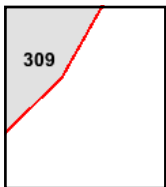
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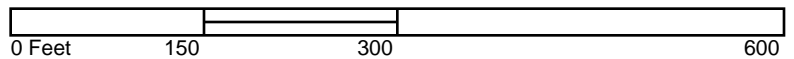
Site Name: Killasens Landing
 Address: 1489 Broadway
 City, ST, ZIP: Rensselaer, NY 12144
 Client: Clough, Harbour & Associates
 EDR Inquiry: 4880007.3
 Order Date: 03/17/2017
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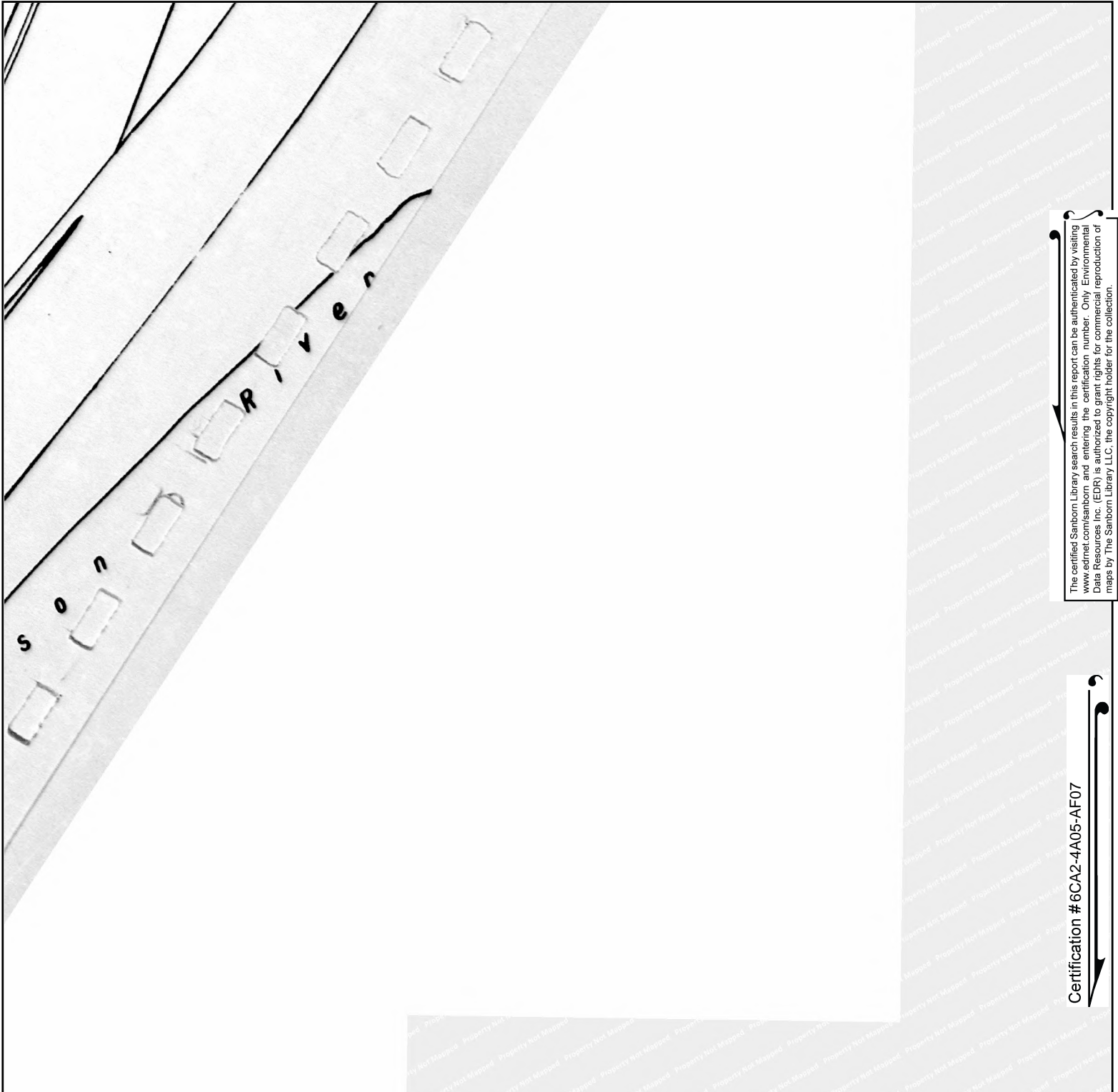


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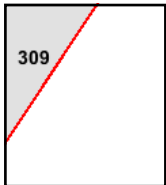
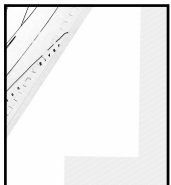
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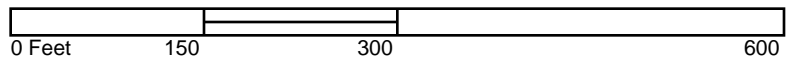
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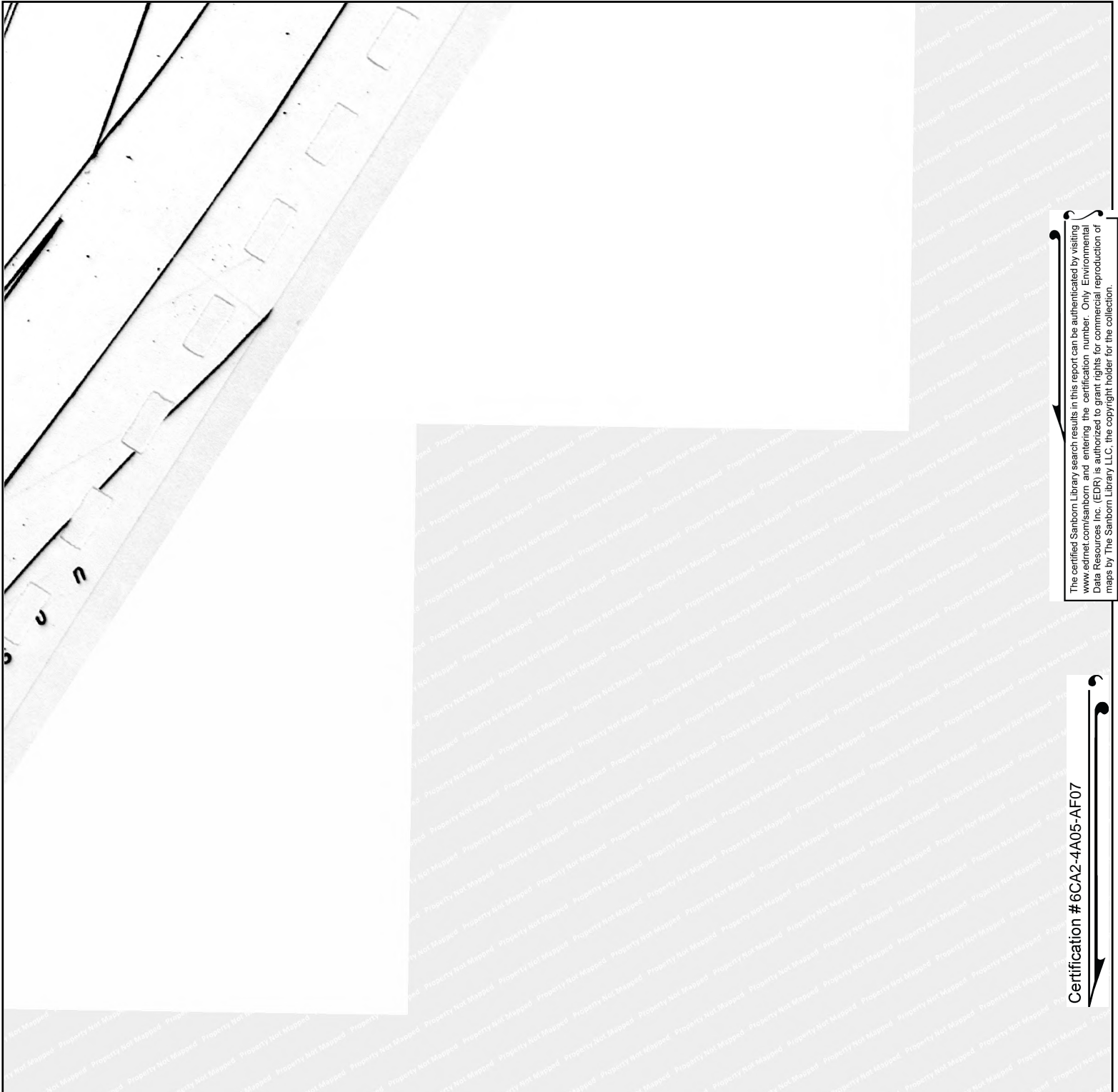


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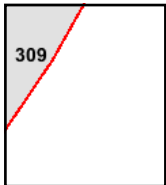
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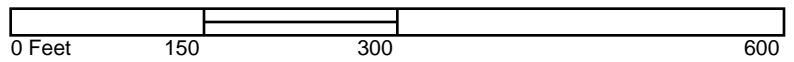
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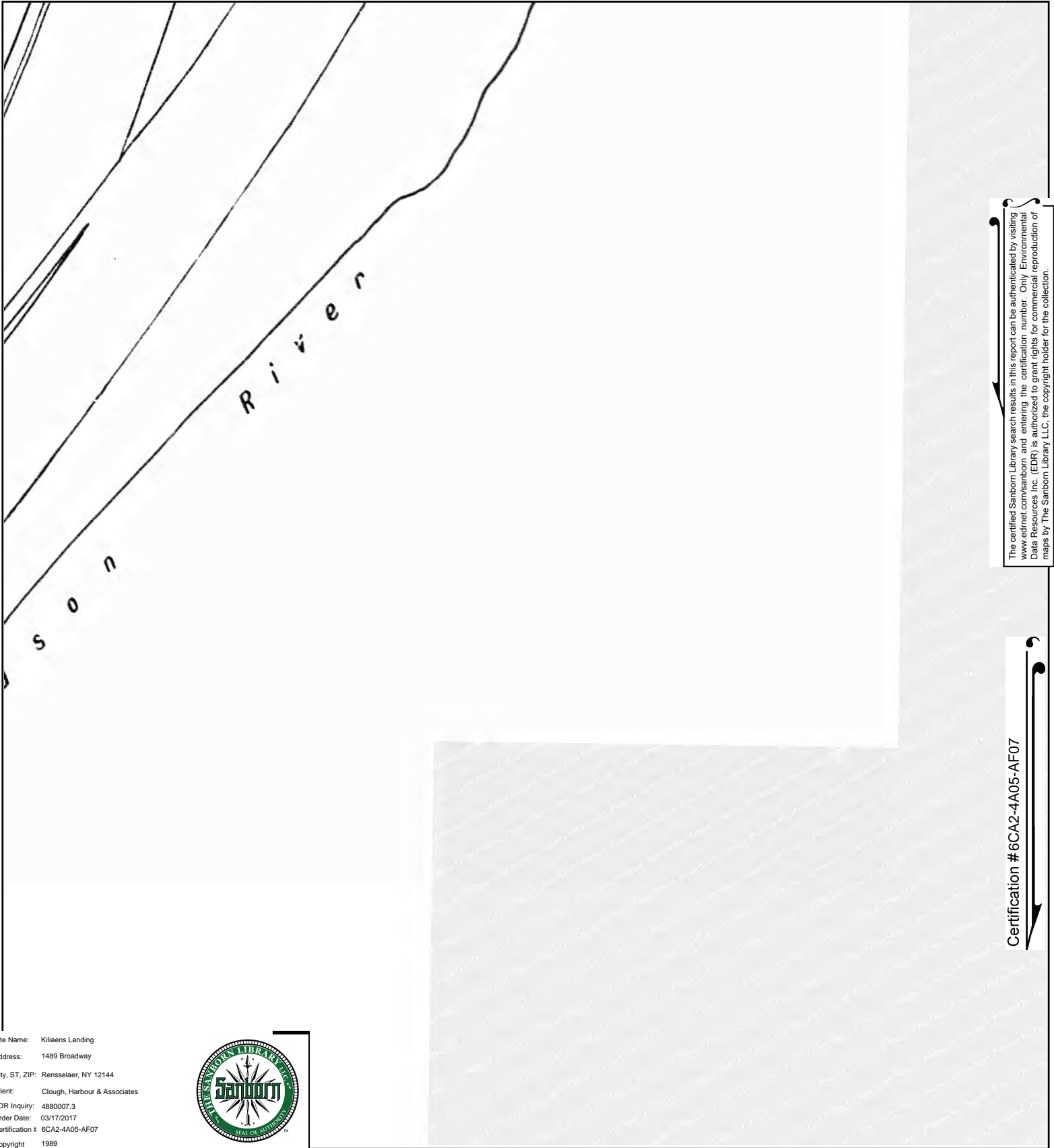


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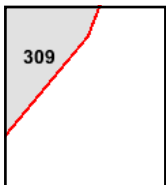
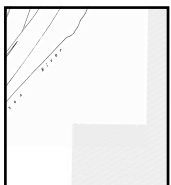
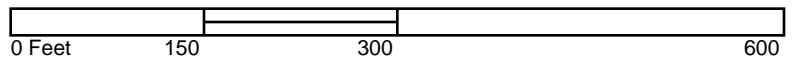
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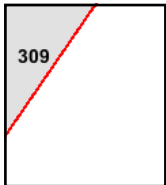
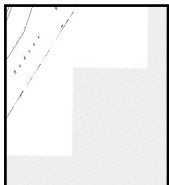
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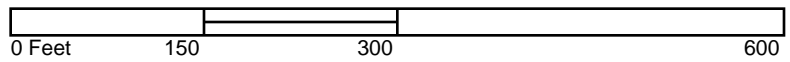
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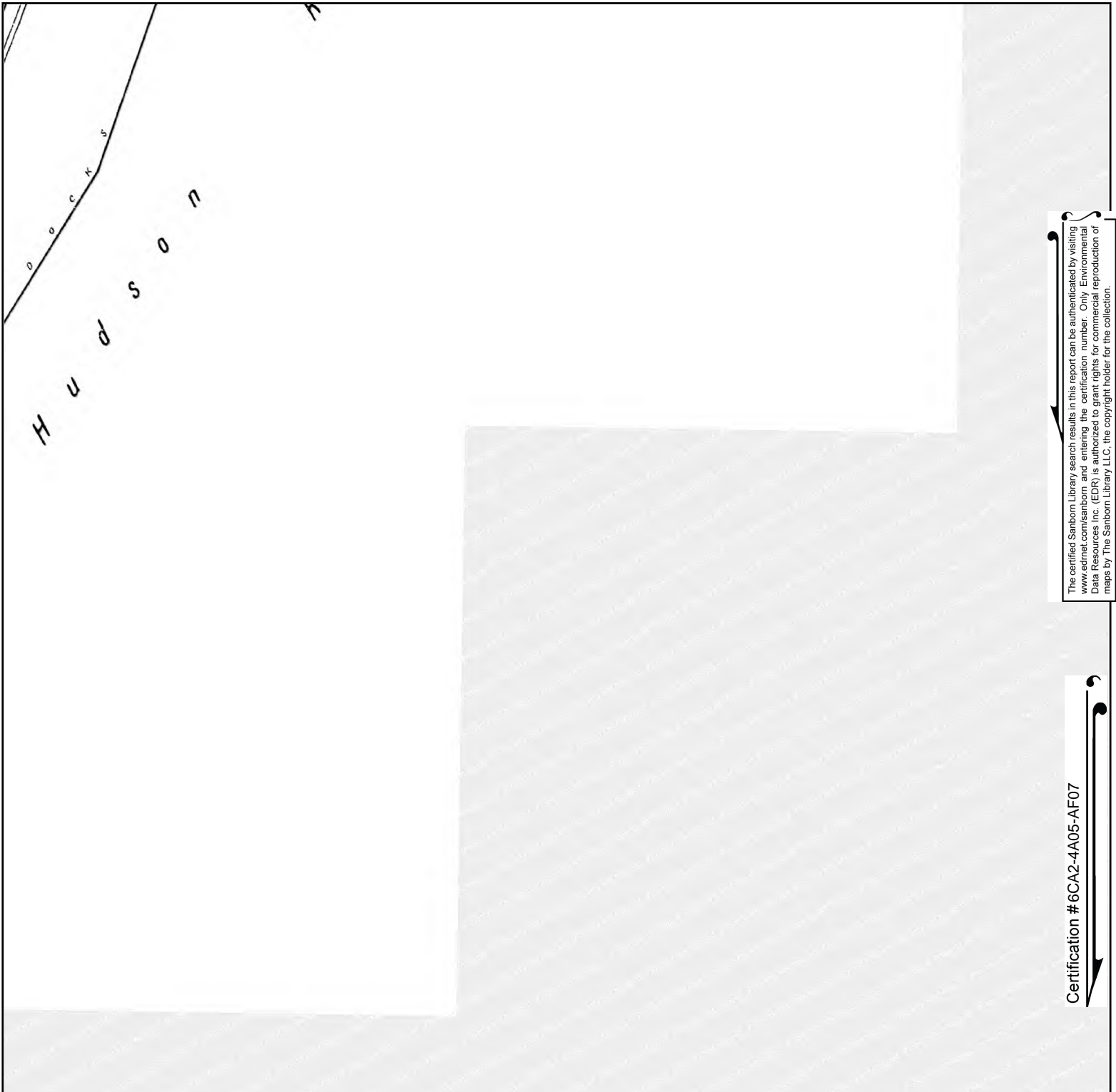


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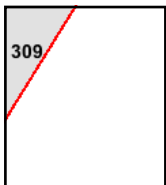
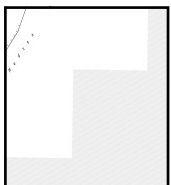
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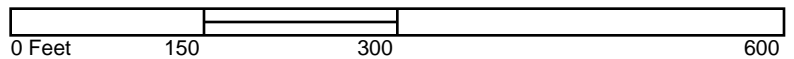
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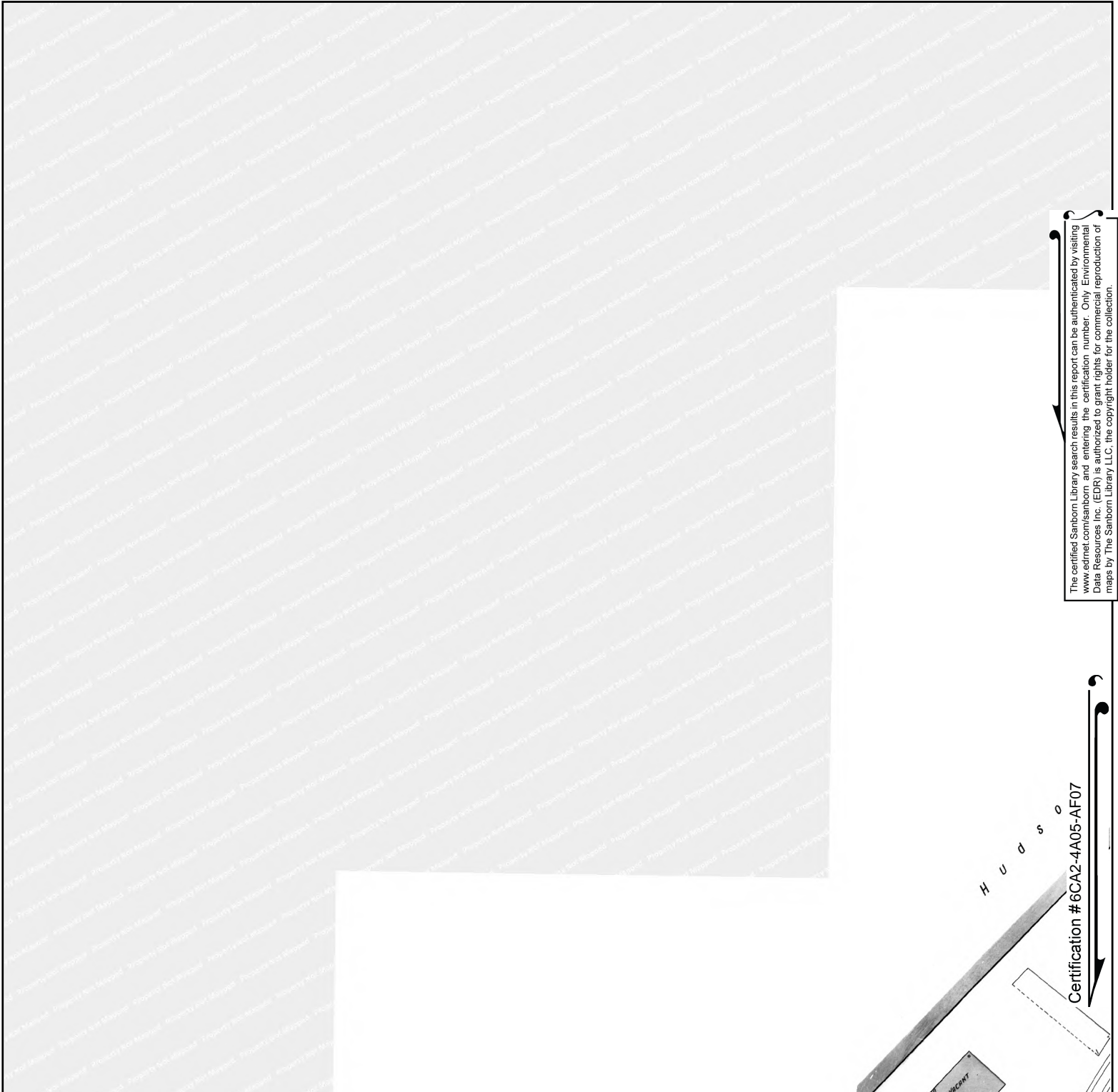


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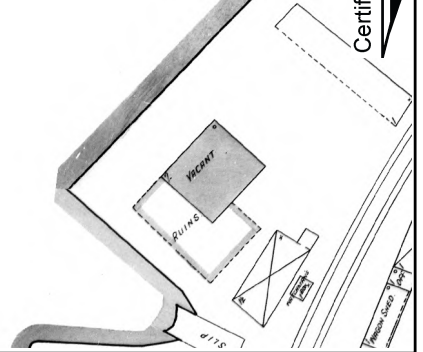




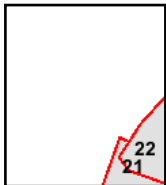
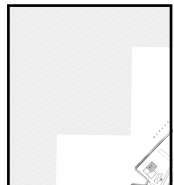
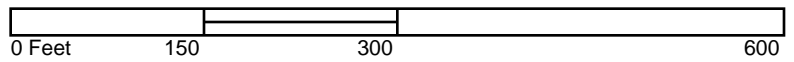
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Kiliaens Landing

1489 Broadway

Rensselaer, NY 12144

Inquiry Number: 4880007.3

March 17, 2017

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03/17/17

Site Name:

Kiliaens Landing
1489 Broadway
Rensselaer, NY 12144
EDR Inquiry # 4880007.3

Client Name:

Clough, Harbour & Associates
3 Winners Circle
Albany, NY 12205
Contact: Scott Rosecrans



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Certification # 6CA2-4A05-AF07

PO # 29703

Project Kiliaens Landing

Maps Provided:

1997	1950
1995	1935
1994	1934
1993	1908
1992	1892
1990	
1989	
1951	



Sanborn® Library search results

Certification #: 6CA2-4A05-AF07

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- Library of Congress
- University Publications of America
- EDR Private Collection

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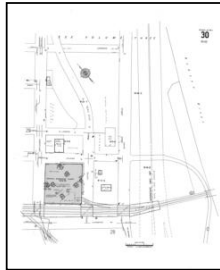
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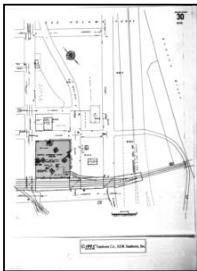


Volume 3, Sheet 309
1997



Volume 1, Sheet 30
1997

1995 Source Sheets



Volume 1, Sheet 30
1995

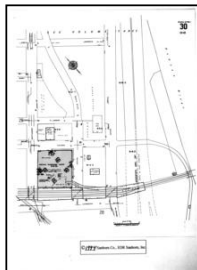


Volume 3, Sheet 309
1995

1994 Source Sheets

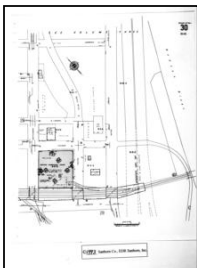


Volume 3, Sheet 309
1994

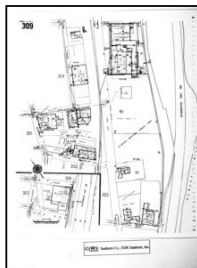


Volume 1, Sheet 30
1994

1993 Source Sheets



Volume 1, Sheet 30
1993



Volume 3, Sheet 309
1993

Sanborn Sheet Key

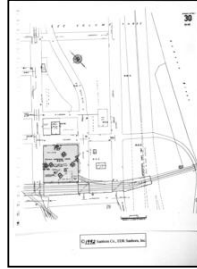
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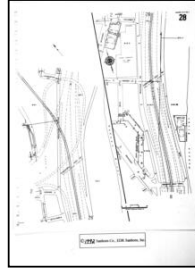
1992 Source Sheets



Volume 3, Sheet 309
1992

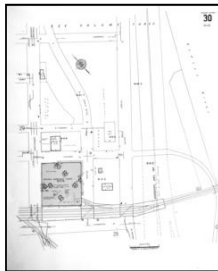


Volume 1, Sheet 30
1992



Volume 1, Sheet 28
1992

1990 Source Sheets



Volume 1, Sheet 30
1990

1989 Source Sheets

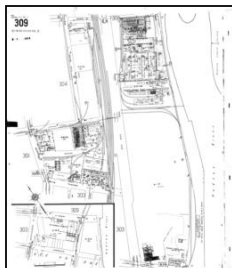


Volume 1, Sheet 30
1989



Volume 3, Sheet 309
1989

1951 Source Sheets



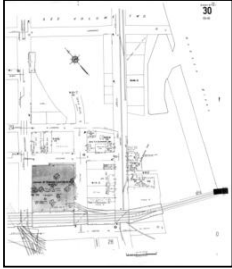
Volume 2, Sheet 309
1951

Sanborn Sheet Key

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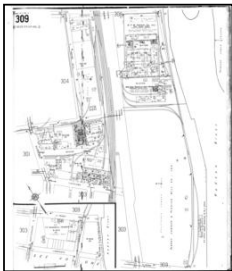


1950 Source Sheets



Volume 1, Sheet 30
1950

1935 Source Sheets



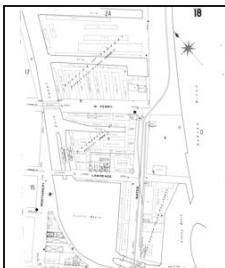
Volume 2, Sheet 309
1935

1934 Source Sheets



Volume 1, Sheet 30
1934

1908 Source Sheets



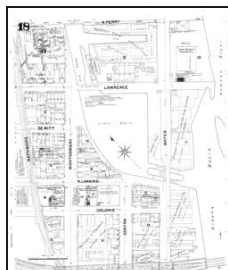
Volume 1, Sheet 18
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Sanborn Sheet Key

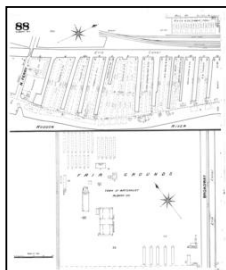
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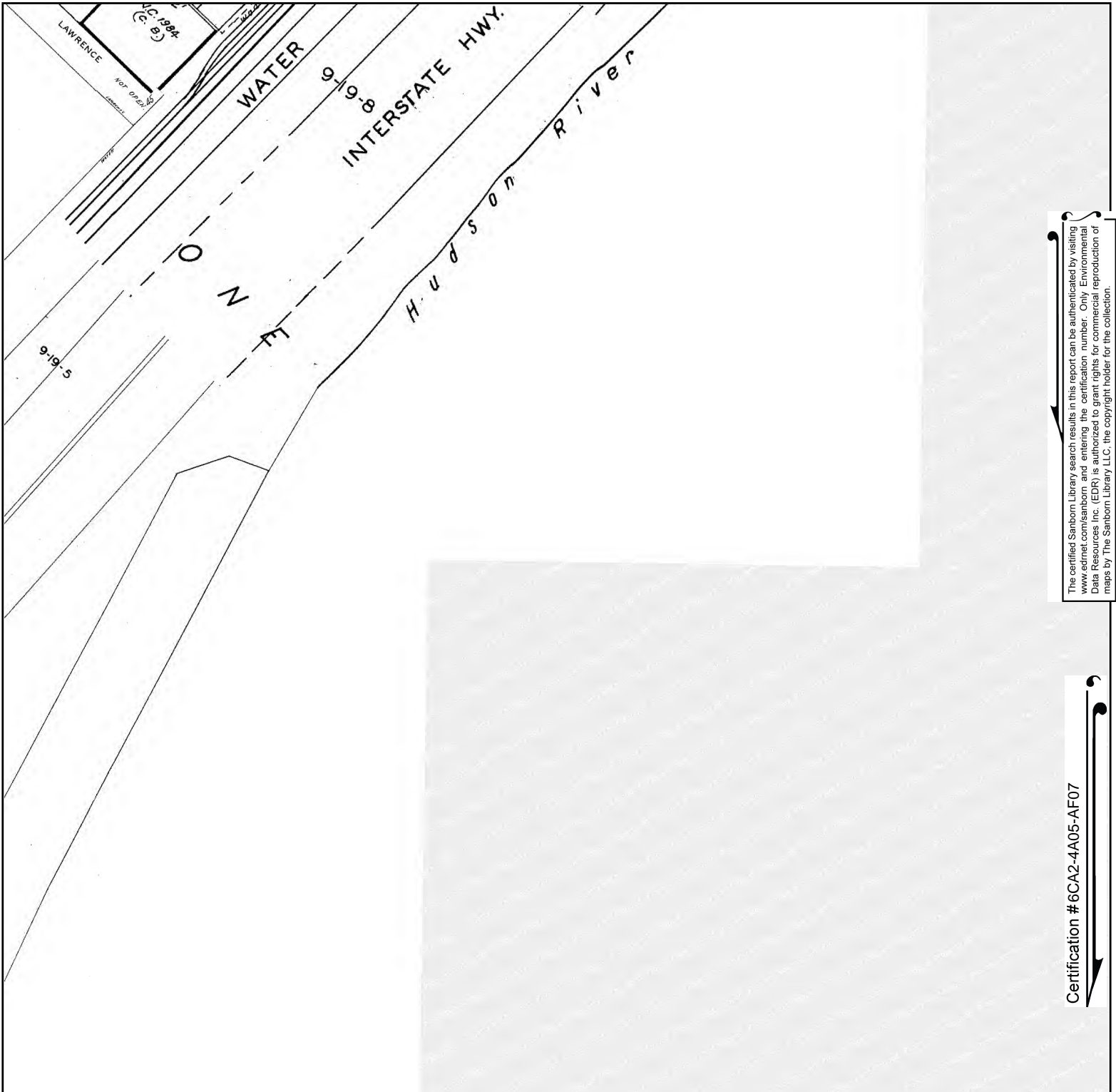
1892 Source Sheets



Volume 1, Sheet 18
1892



Volume 1, Sheet 88
1892



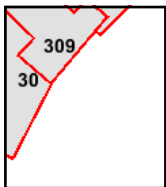
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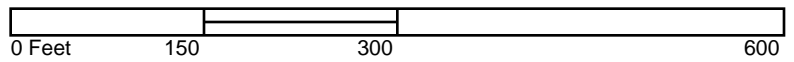
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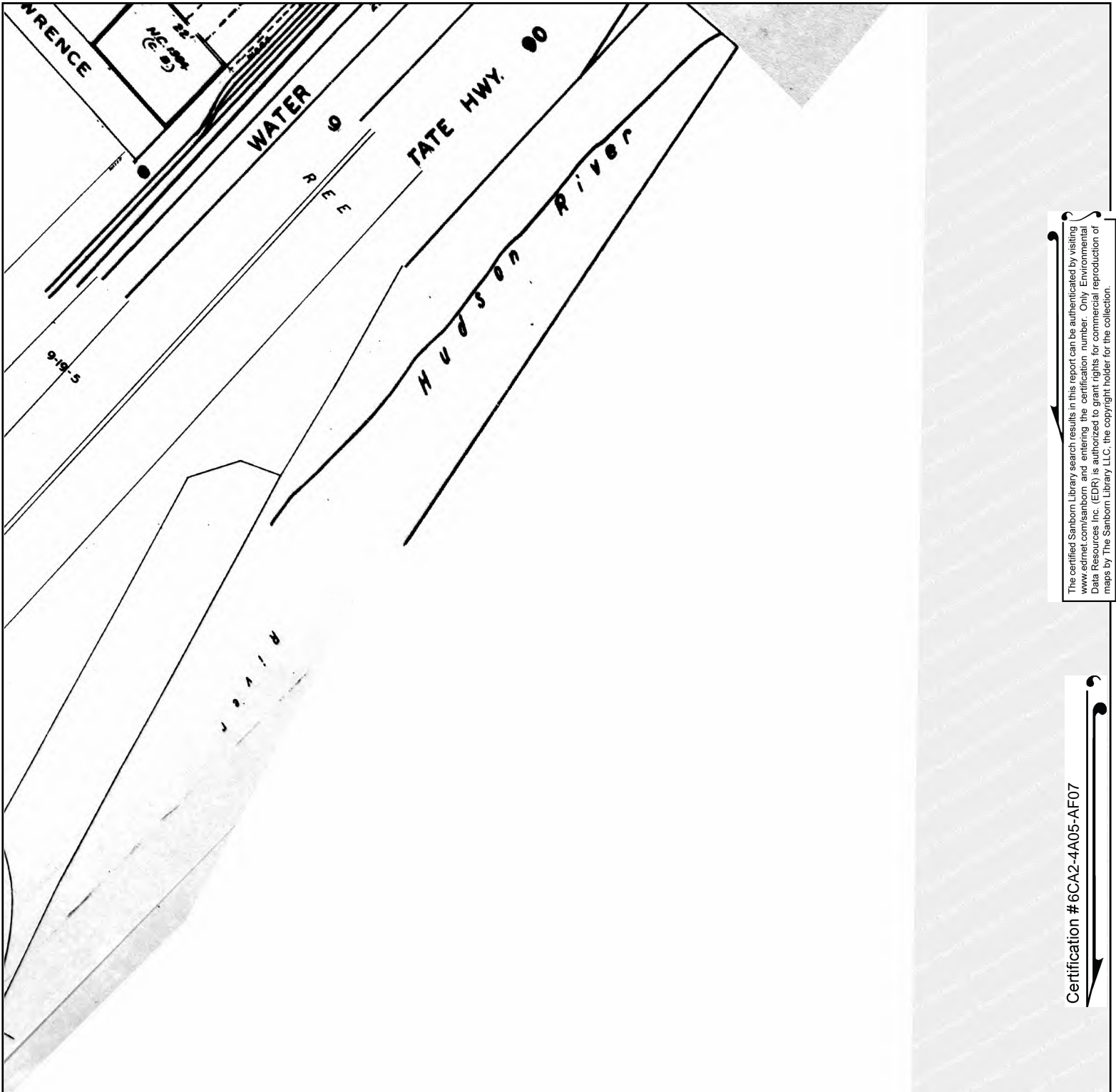


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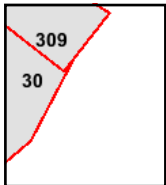




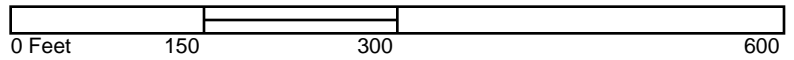
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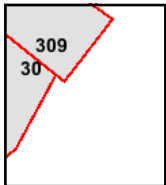
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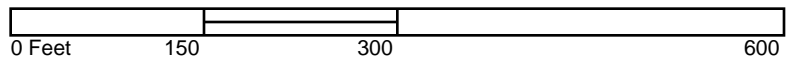
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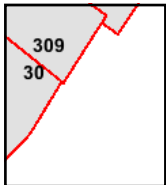
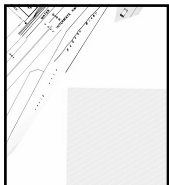
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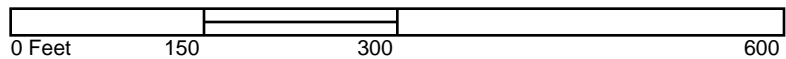
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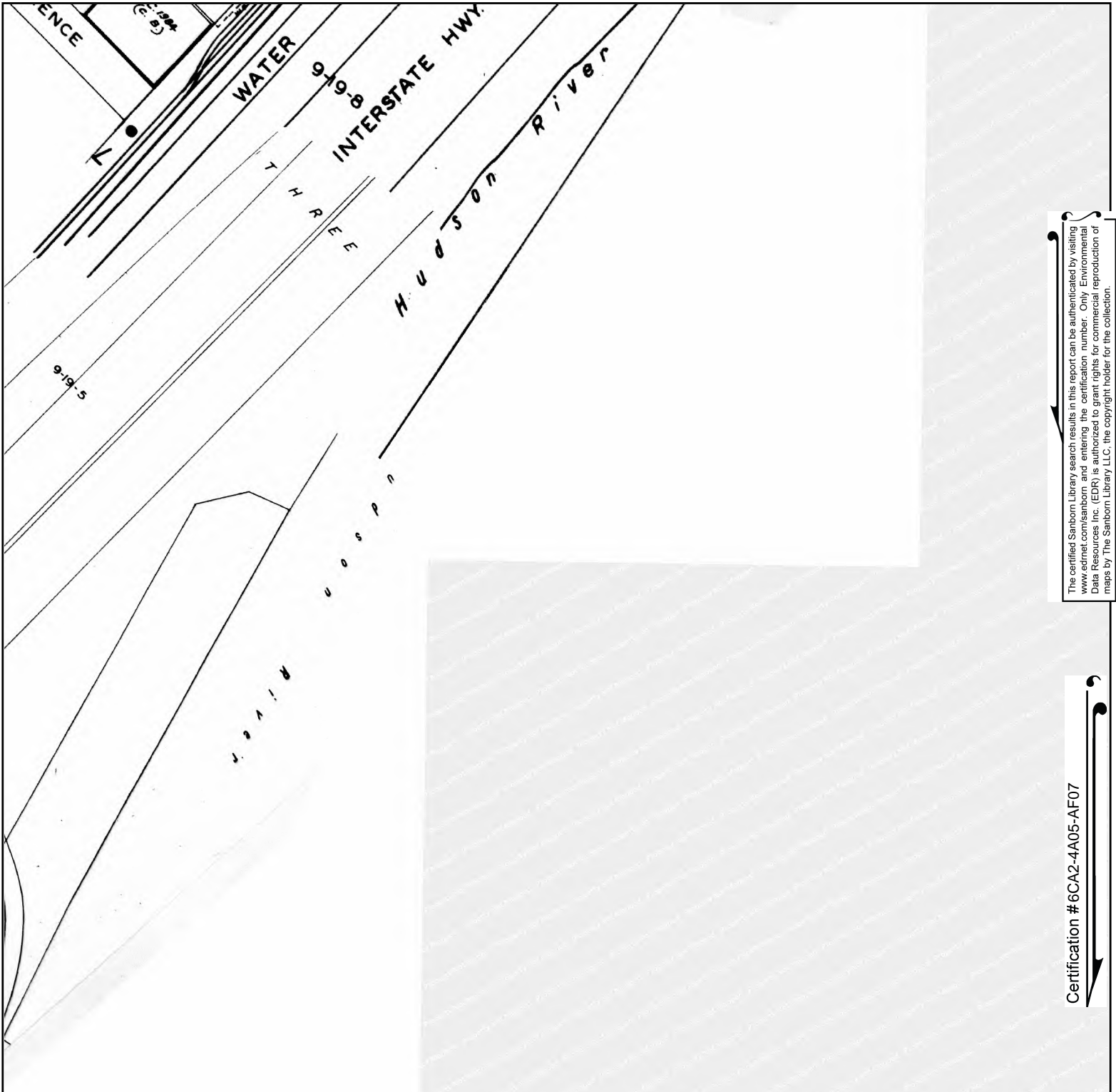


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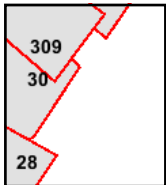
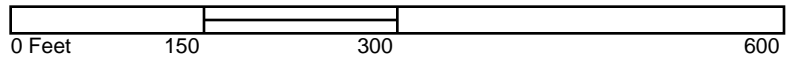
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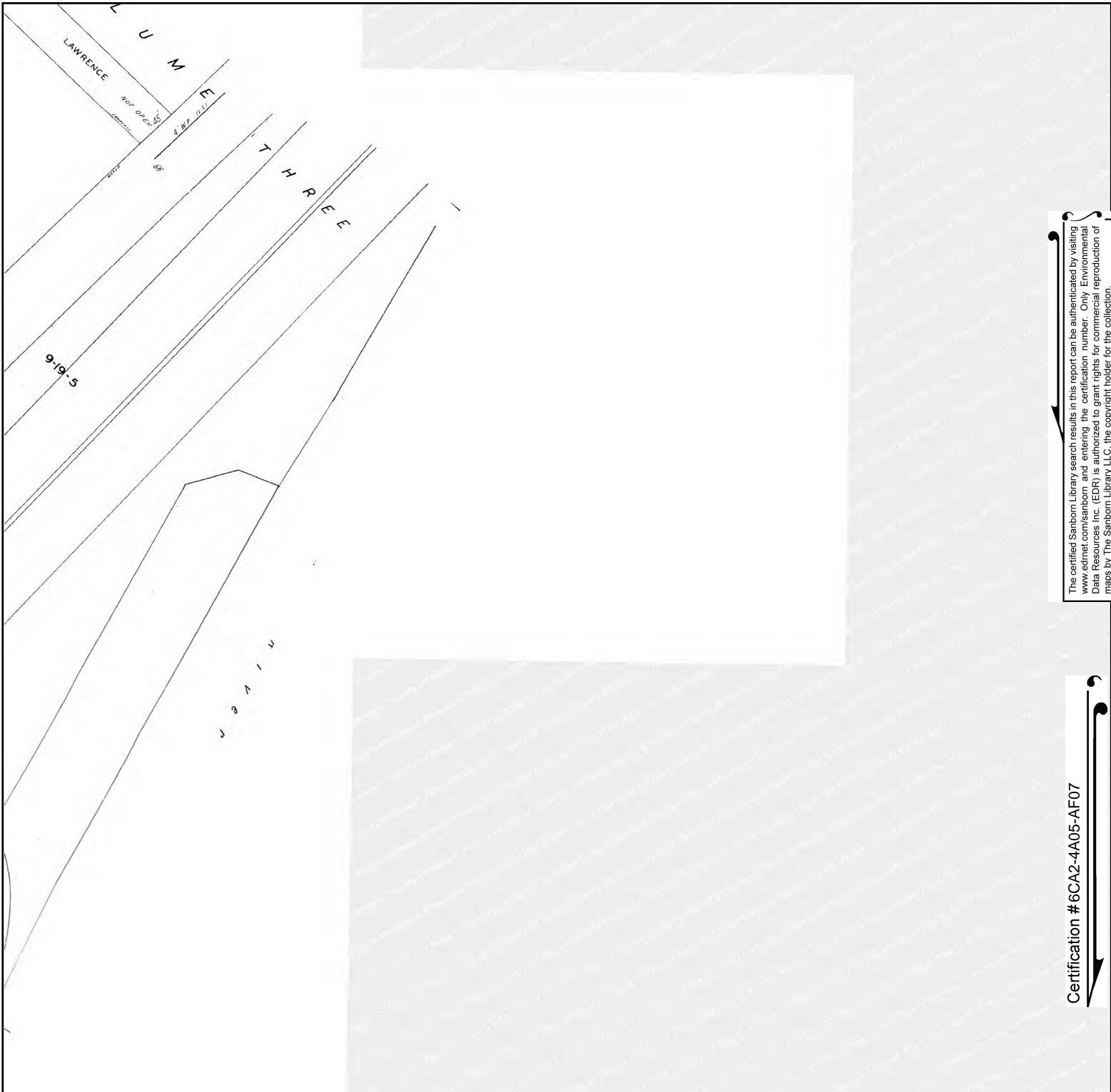


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Volume 1, Sheet 28
 Volume 1, Sheet 30
 Volume 3, Sheet 309





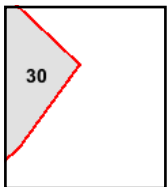
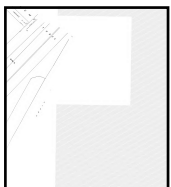
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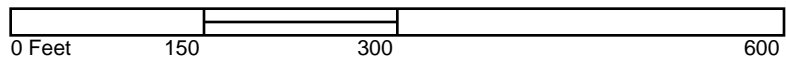
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 EDR Inquiry: 4880007.3
 Order Date: 03/17/2017
 Certification # 6CA2-4A05-AF07
 Copyright 1990

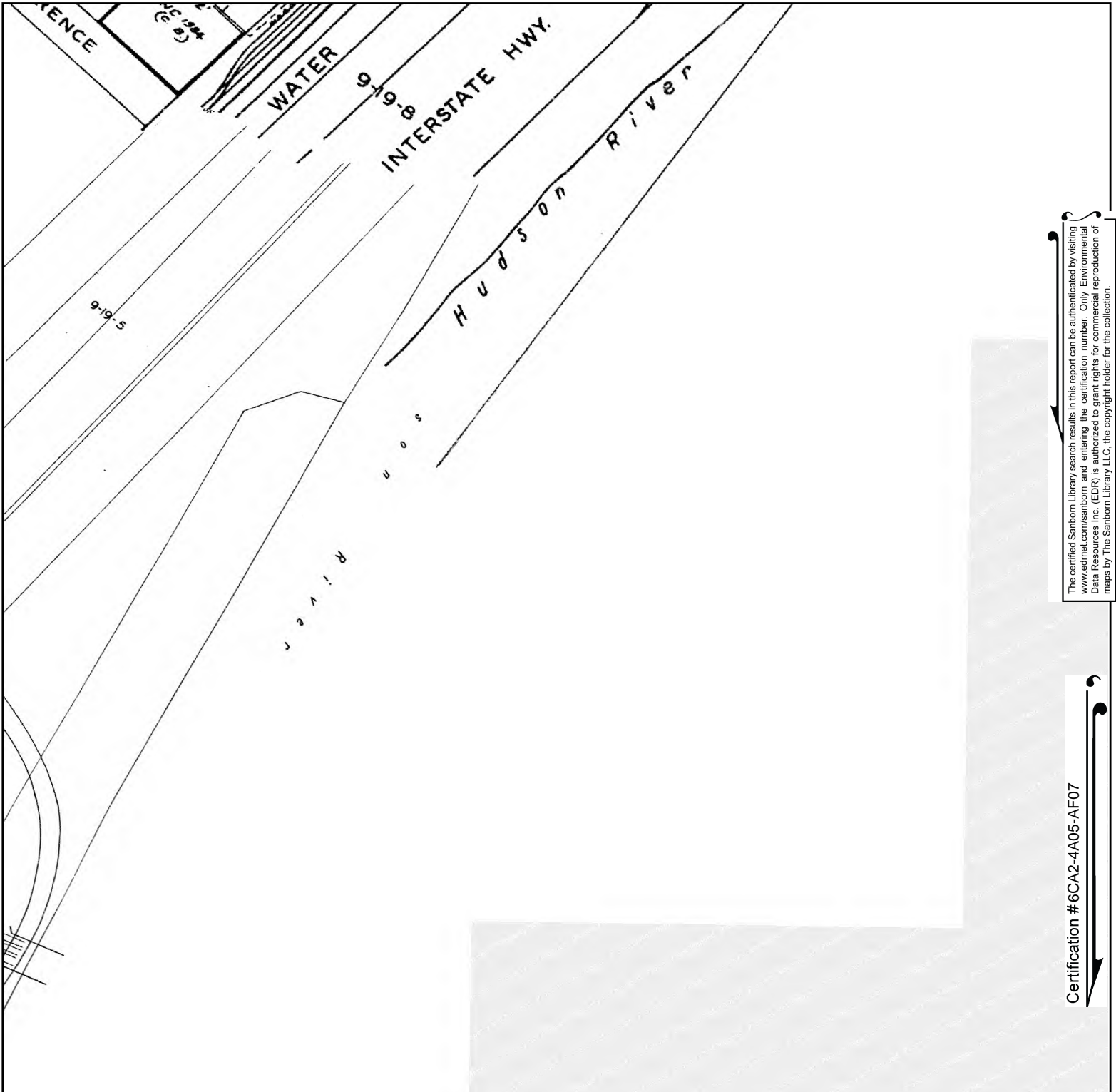


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Volume 1, Sheet 30





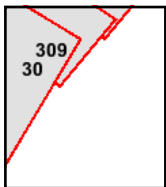
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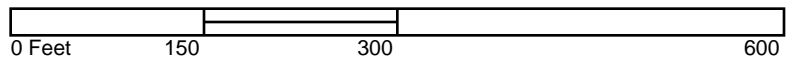
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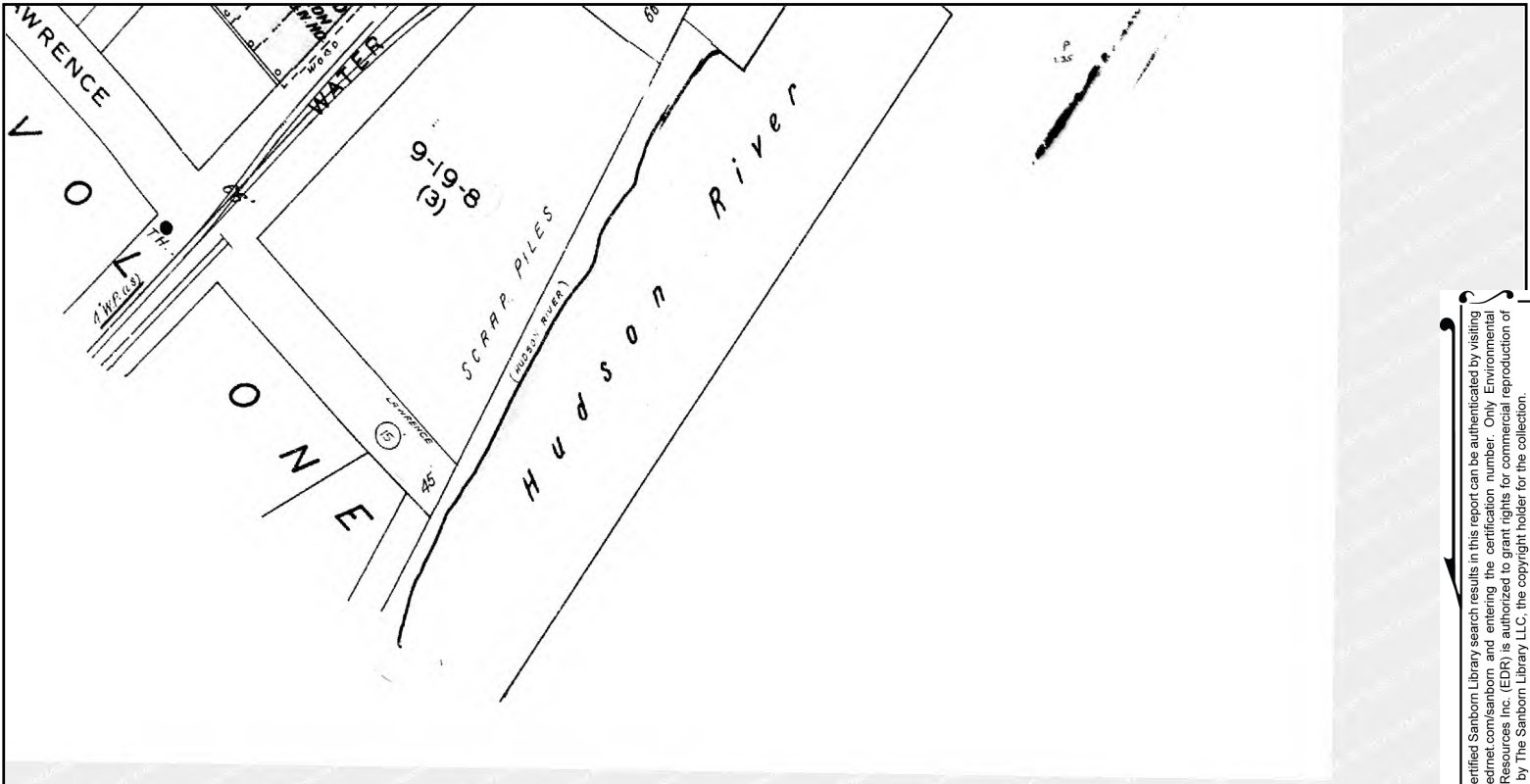


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Volume 3, Sheet 309
 Volume 1, Sheet 30





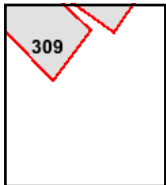
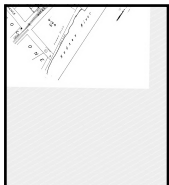
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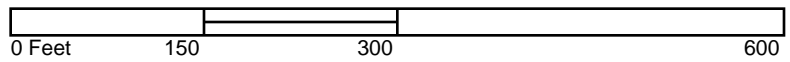
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 Certification # 6CA2-4A05-AF07
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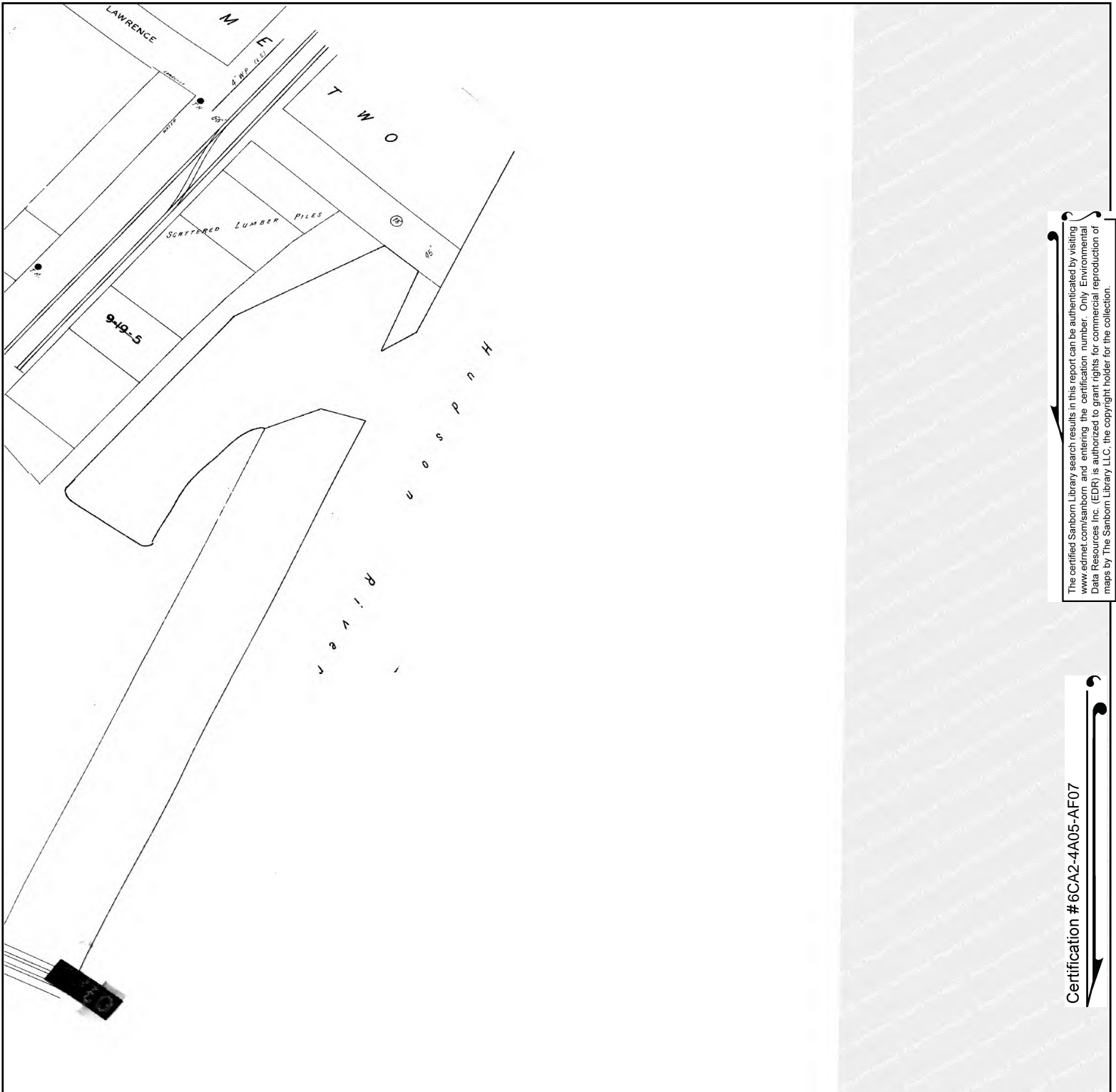


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Volume 2, Sheet 309





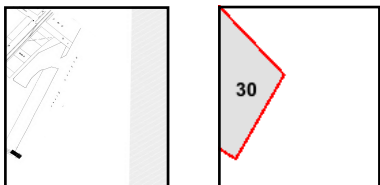
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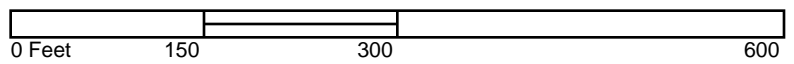
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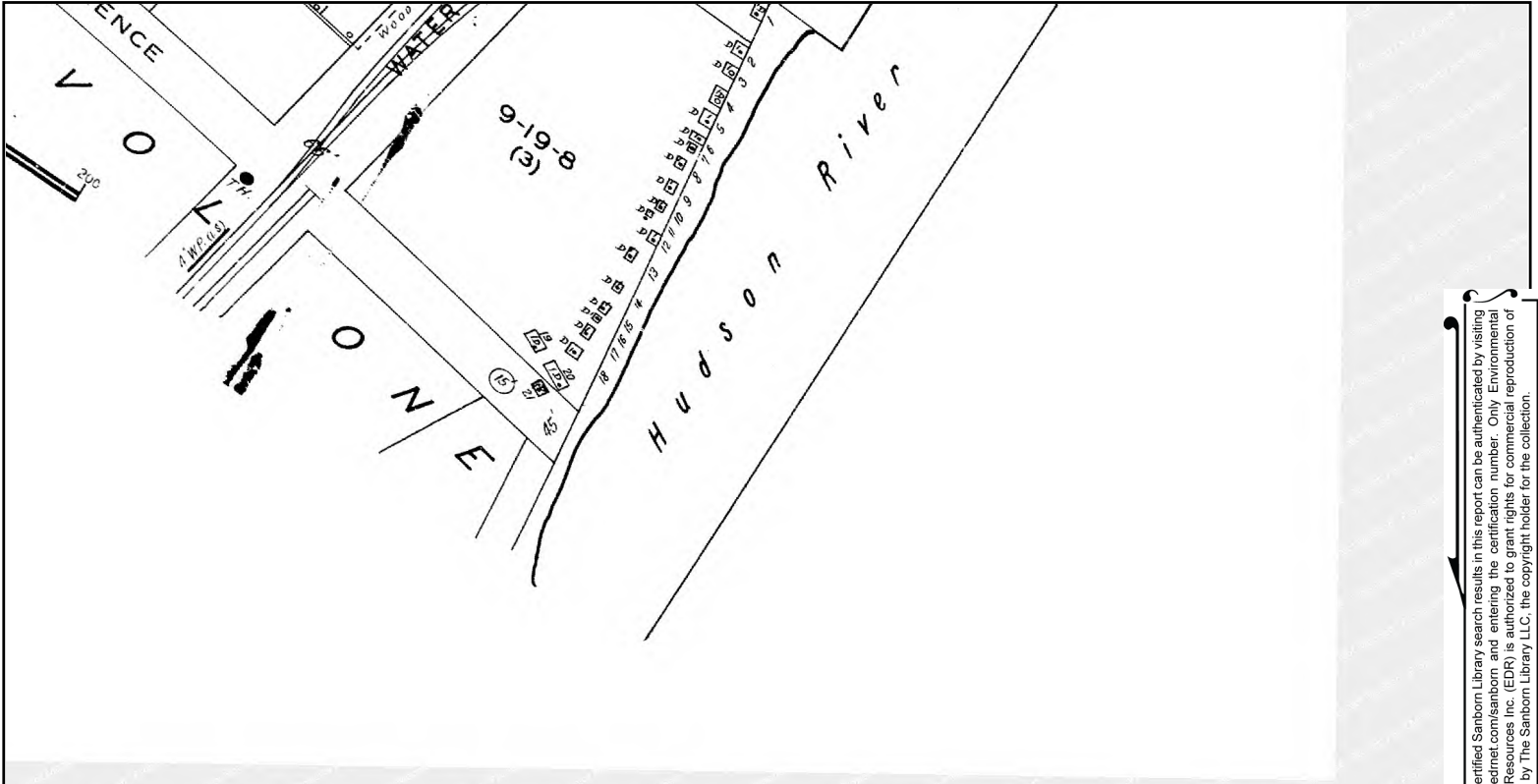


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Volume 1, Sheet 30





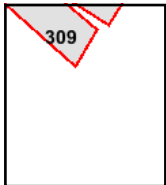
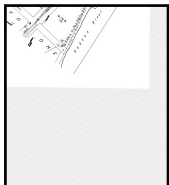
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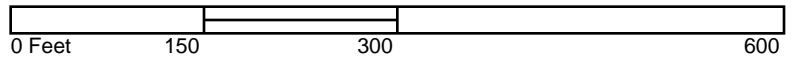
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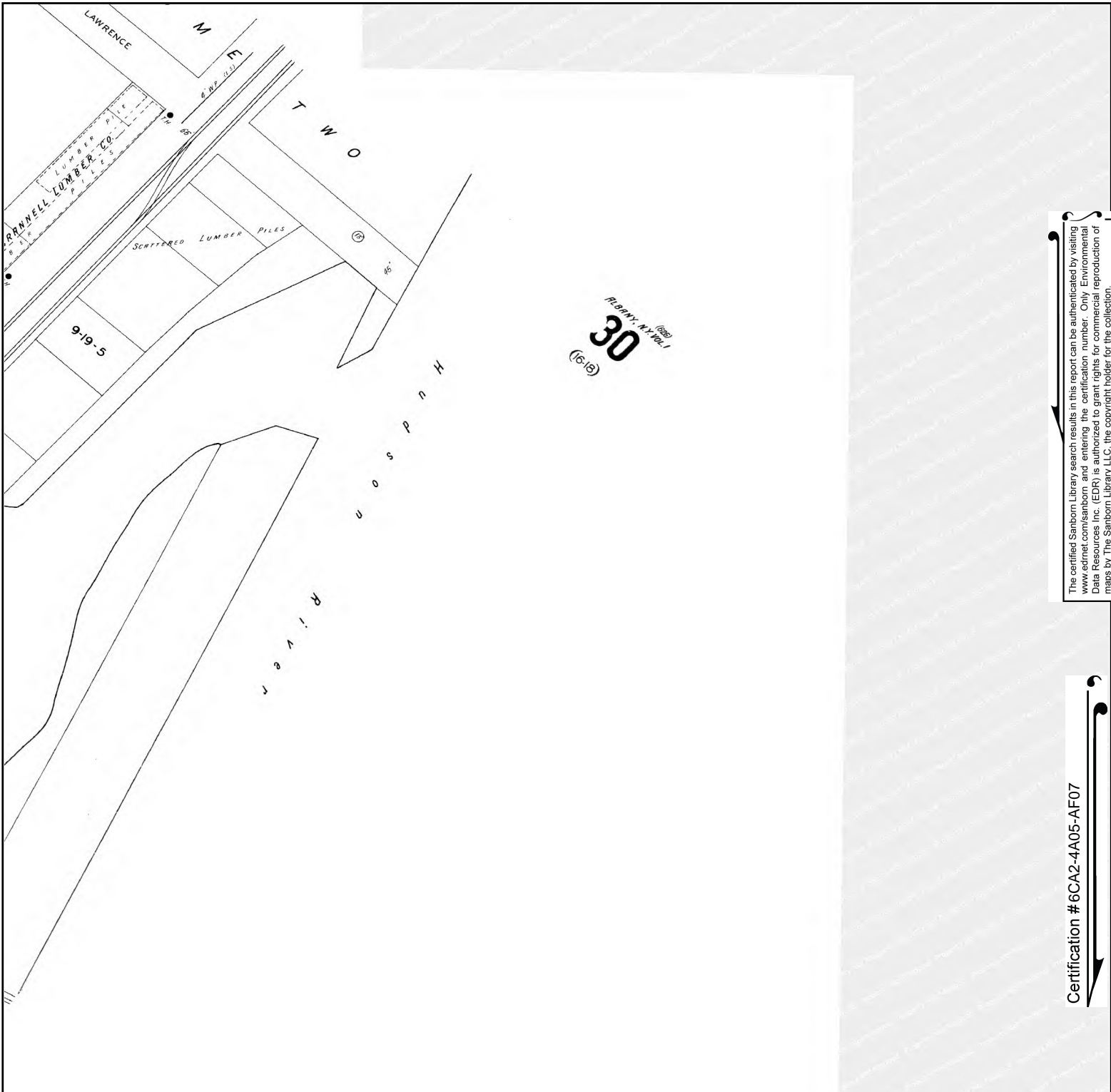


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Volume 2, Sheet 309





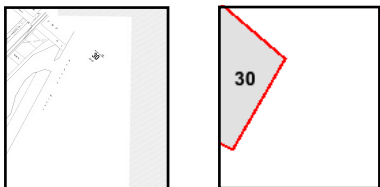
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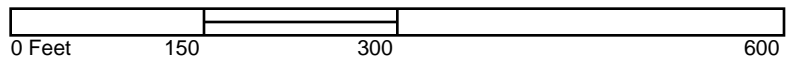
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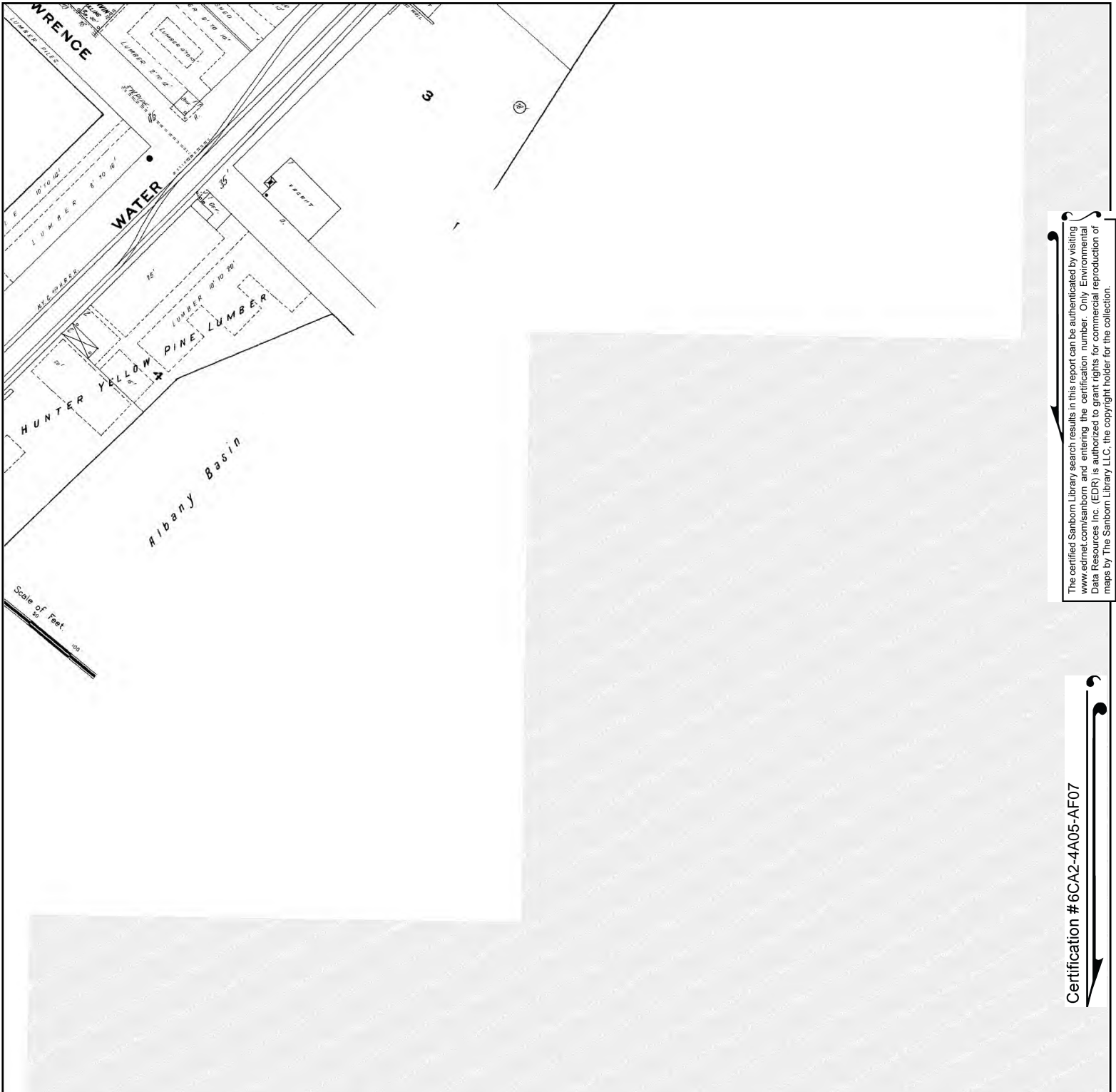


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Volume 1, Sheet 30





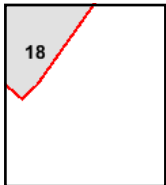
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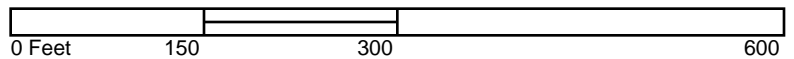
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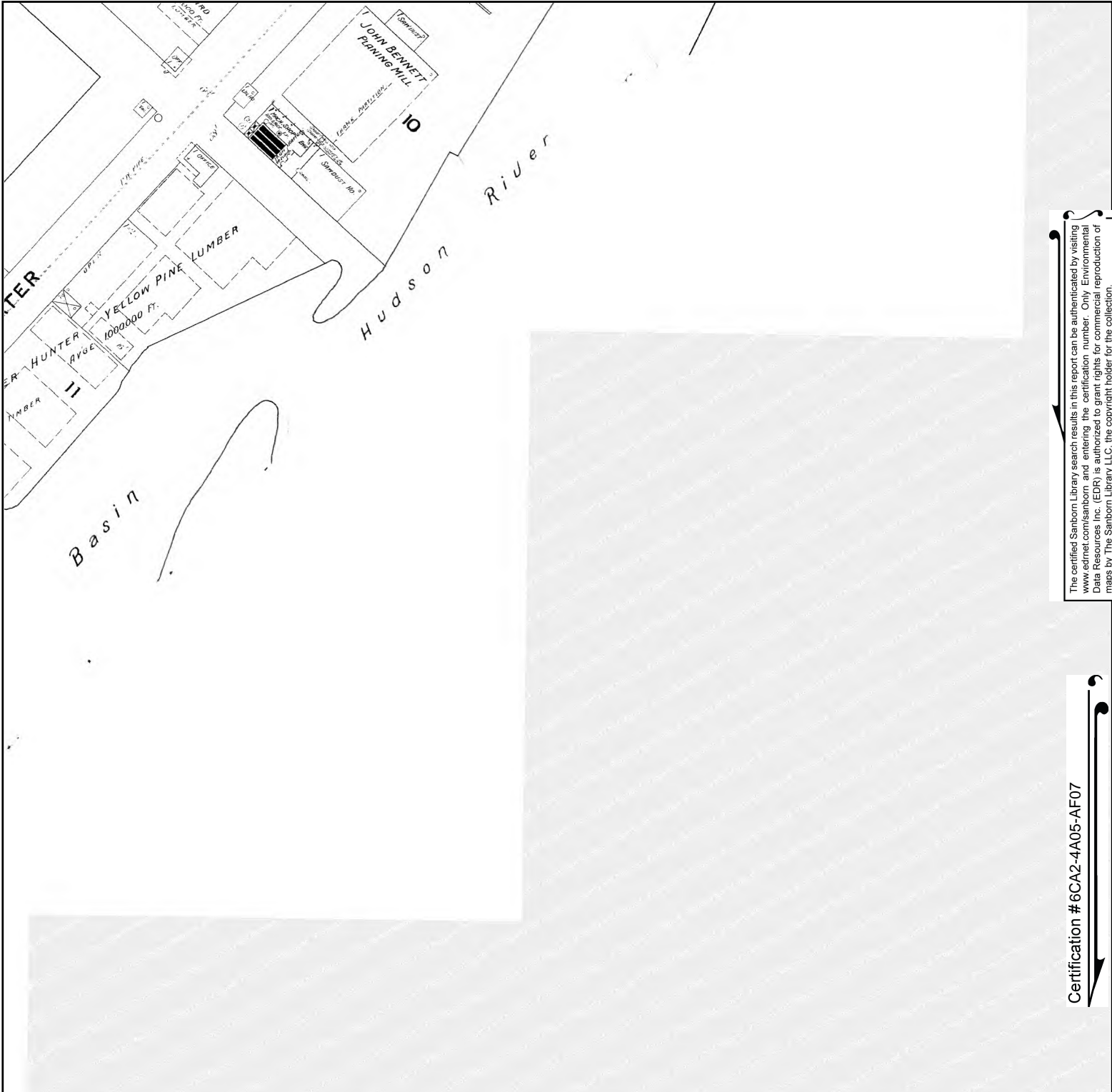


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Volume 1, Sheet 18





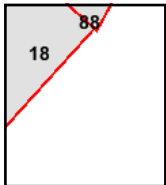
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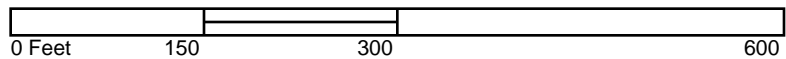
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 Address: 1489 Broadway
 City, ST, ZIP: Rensselaer, NY 12144
 Client: Clough, Harbour & Associates
 EDR Inquiry: 4880007.3
 Order Date: 03/17/2017
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 Copyright 1892



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 Volume 1, Sheet 18





Kiliaens Landing

1489 Broadway

Rensselaer, NY 12144

Inquiry Number: 4880007.3

March 17, 2017

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Certified Sanborn® Map Report

03/17/17

Site Name:

Kiliaens Landing
1489 Broadway
Rensselaer, NY 12144
EDR Inquiry # 4880007.3

Client Name:

Clough, Harbour & Associates
3 Winners Circle
Albany, NY 12205
Contact: Scott Rosecrans



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Certification # 6CA2-4A05-AF07

PO # 29703

Project Kiliaens Landing

Maps Provided:

- 1967
- 1949
- 1925
- 1909



Sanborn® Library search results

Certification #: 6CA2-4A05-AF07

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

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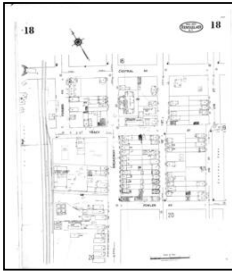
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1967 Source Sheets

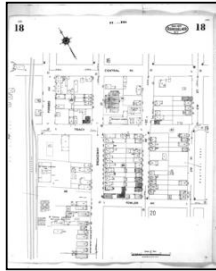


Volume 1, Sheet 18
1967

1949 Source Sheets

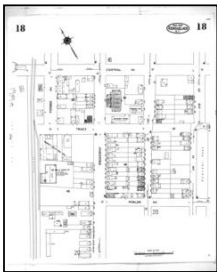


Volume 1, Sheet 20
1949

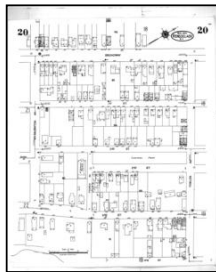


Volume 1, Sheet 18
1949

1925 Source Sheets

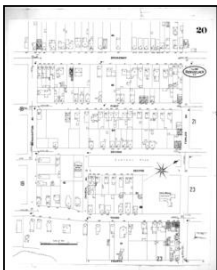


Volume 1, Sheet 18
1925



Volume 1, Sheet 20
1925

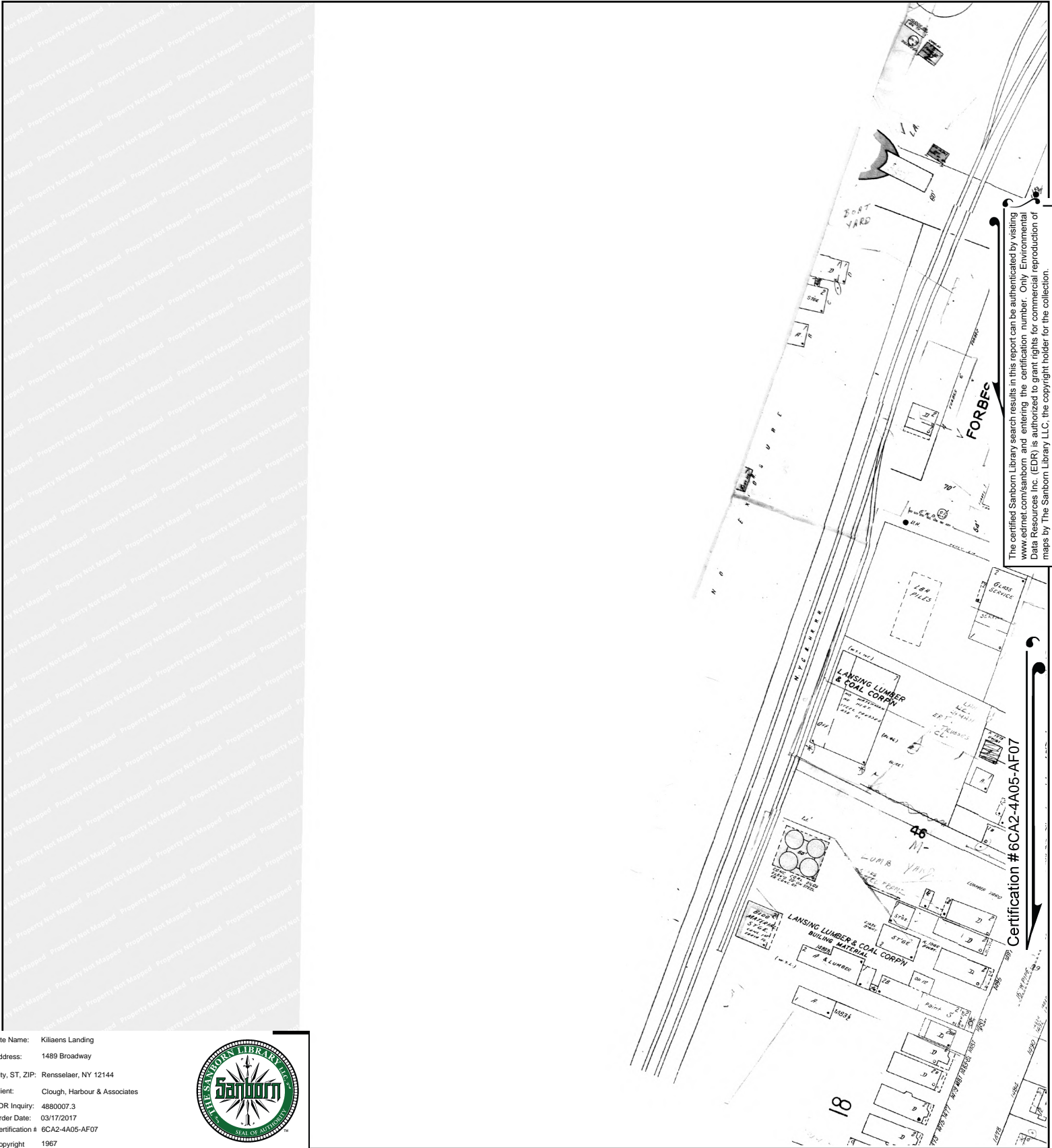
1909 Source Sheets



Volume 1, Sheet 20
1909



Volume 1, Sheet 21
1909



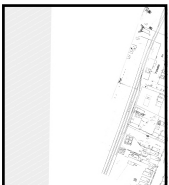
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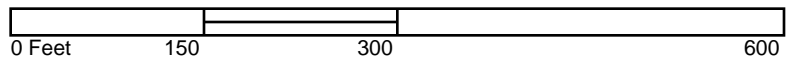
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 Address: 1489 Broadway
 City, ST, ZIP: Rensselaer, NY 12144
 Client: Clough, Harbour & Associates
 EDR Inquiry: 4880007.3
 Order Date: 03/17/2017
 Certification # 6CA2-4A05-AF07
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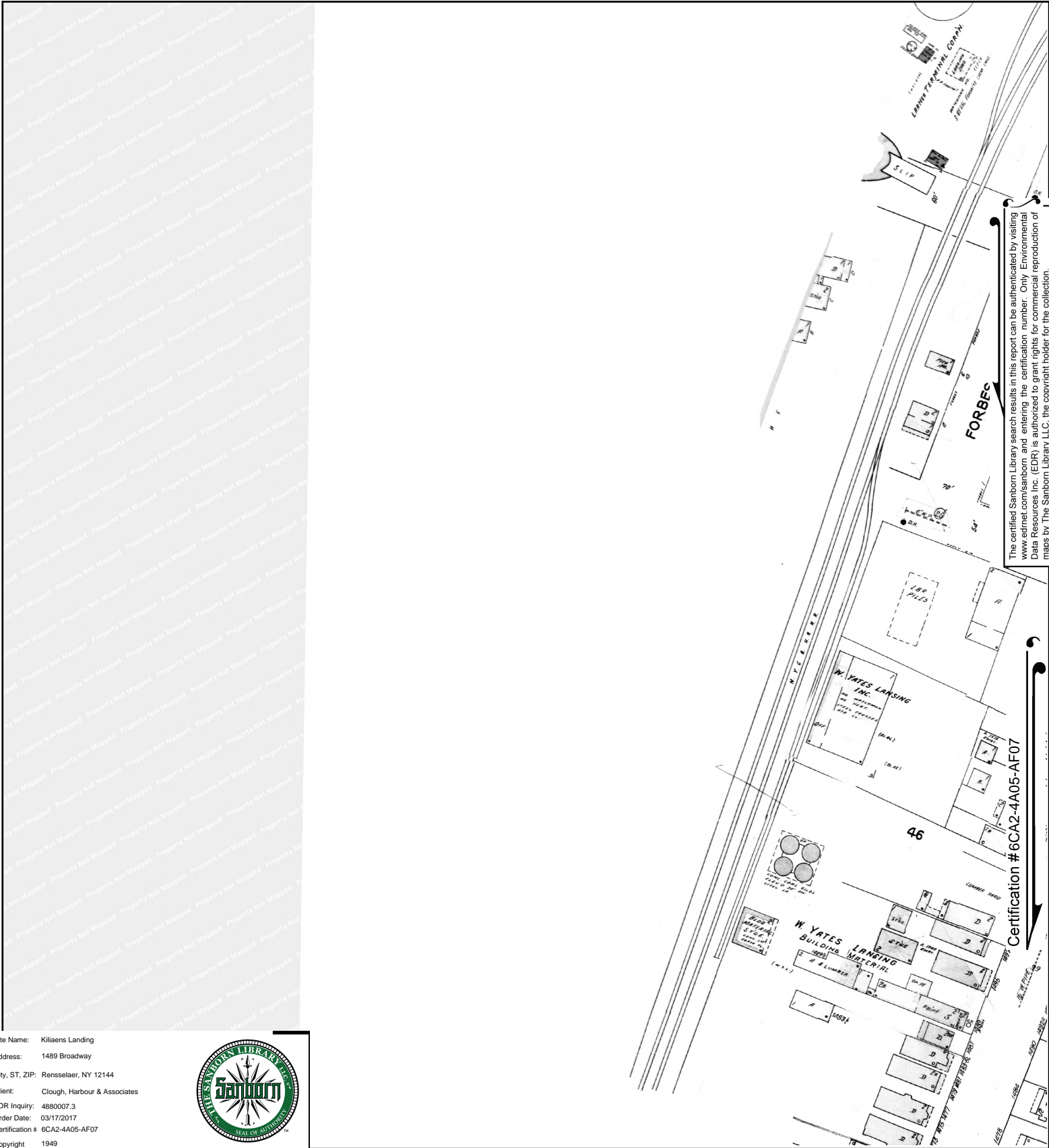


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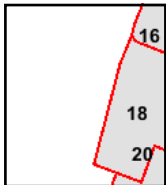
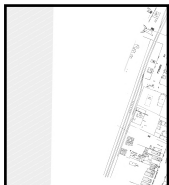




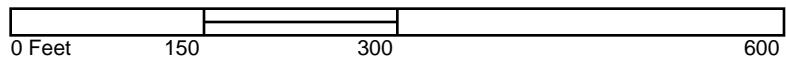
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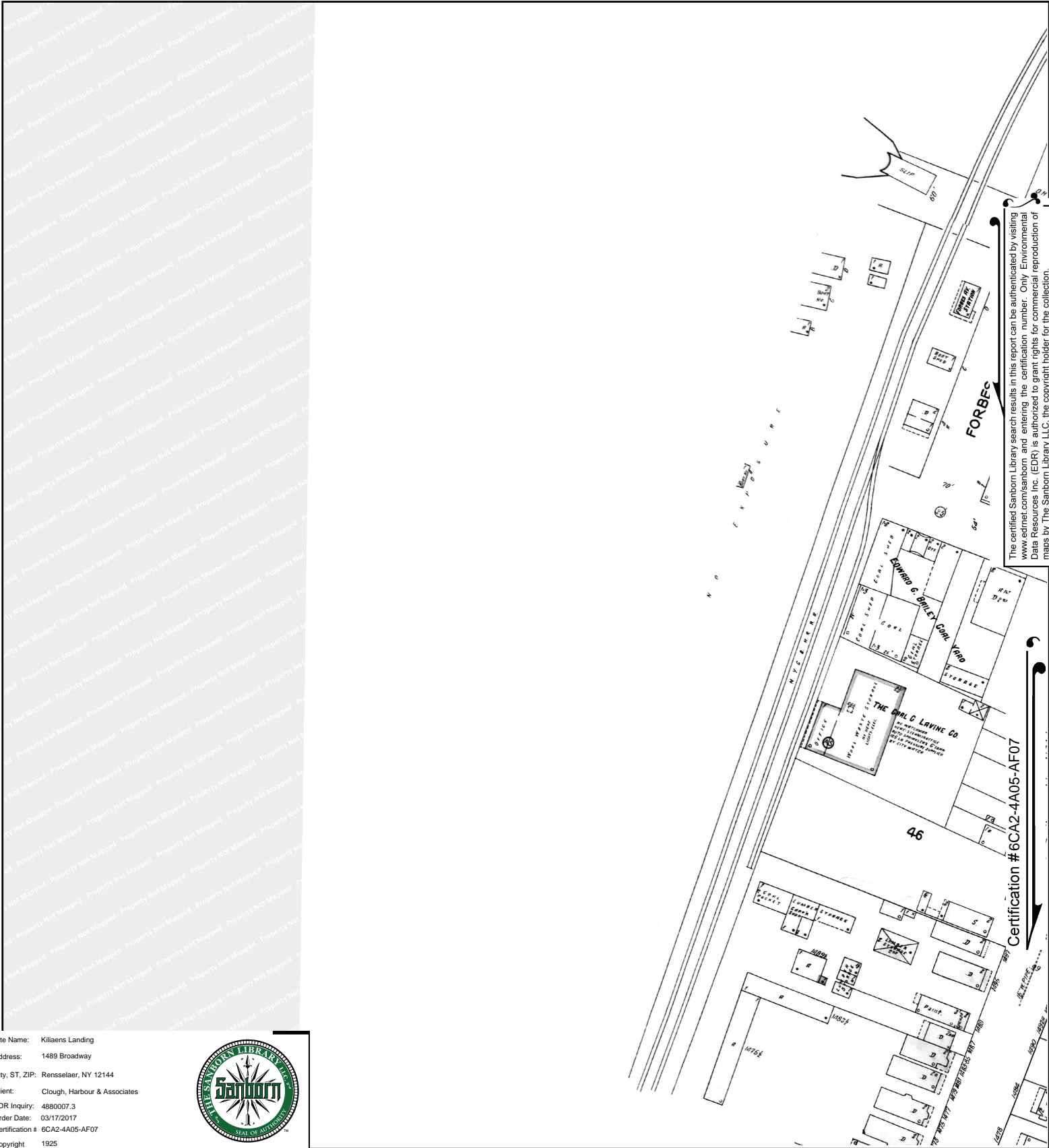


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Volume 1, Sheet 18
 Volume 1, Sheet 20





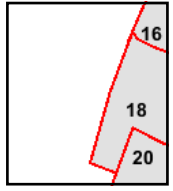
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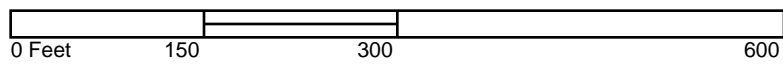
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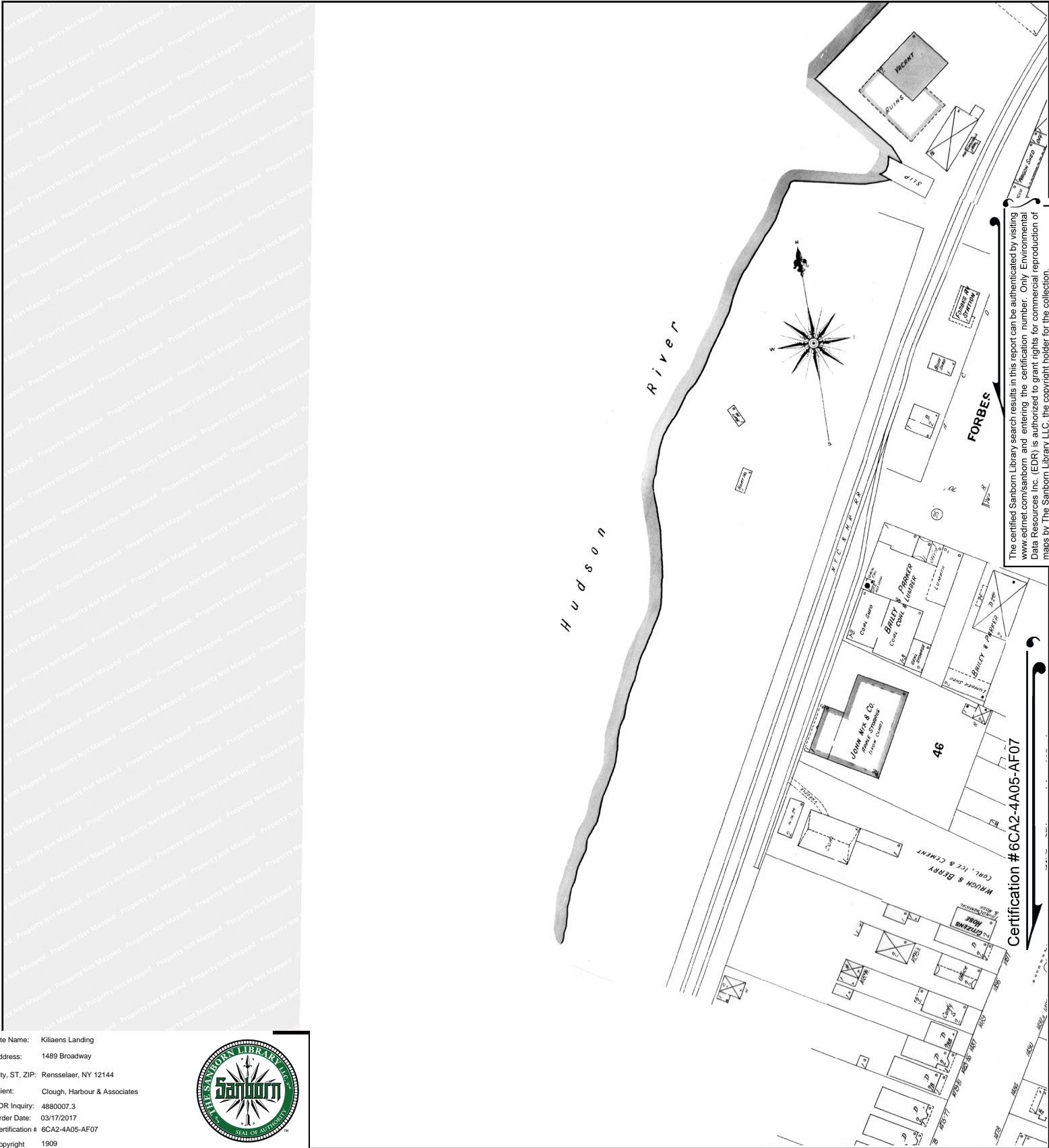


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Volume 1, Sheet 20
 Volume 1, Sheet 18





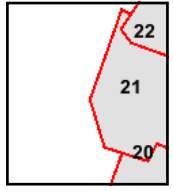
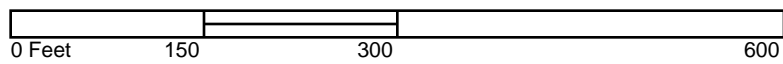
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Site Name: Killbuck Landing
 Address: 1489 Broadway
 City, ST, ZIP: Rensselaer, NY 12144
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Volume 1, Sheet 21
 Volume 1, Sheet 20



Site Name:

Kiliaens Landing
 1489 Broadway
 Rensselaer, NY 12144
 EDR Inquiry # 4880007.5

Client Name:

Clough, Harbour & Associates
 3 Winners Circle
 Albany, NY 12205
 Contact: Scott Rosecrans



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Search Results:

<u>Year</u>	<u>Scale</u>	<u>Details</u>	<u>Source</u>
2011	1"=500'	Flight Year: 2011	USDA/NAIP
2009	1"=500'	Flight Year: 2009	USDA/NAIP
2008	1"=500'	Flight Year: 2008	USDA/NAIP
2006	1"=500'	Flight Year: 2006	USDA/NAIP
1995	1"=500'	Acquisition Date: May 07, 1995	USGS/DOQQ
1994	1"=500'	Flight Date: April 20, 1994	USGS
1984	1"=1000'	Flight Date: March 16, 1984	USGS
1977	1"=500'	Flight Date: April 17, 1977	USDA
1973	1"=500'	Flight Date: June 16, 1973	USGS
1952	1"=500'	Flight Date: June 02, 1952	USDA
1942	1"=500'	Flight Date: January 01, 1942	FirstSearch

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INQUIRY #: 4880007.5

YEAR: 2011

— = 500'





INQUIRY #: 4880007.5

YEAR: 2011

— = 500'





INQUIRY #: 4880007.5

YEAR: 2011

— = 500'





INQUIRY #: 4880007.5

YEAR: 2011

— = 500'





INQUIRY #: 4880007.5

YEAR: 2009

— = 500'





INQUIRY #: 4880007.5

YEAR: 2009

— = 500'





INQUIRY #: 4880007.5

YEAR: 2009

— = 500'





INQUIRY #: 4880007.5

YEAR: 2009

— = 500'





INQUIRY #: 4880007.5

YEAR: 2008

— = 500'





INQUIRY #: 4880007.5

YEAR: 2008

— = 500'





INQUIRY #: 4880007.5

YEAR: 2008

— = 500'





INQUIRY #: 4880007.5

YEAR: 2008

— = 500'





INQUIRY #: 4880007.5

YEAR: 2006

— = 500'





INQUIRY #: 4880007.5

YEAR: 2006

— = 500'





INQUIRY #: 4880007.5

YEAR: 2006

— = 500'





INQUIRY #: 4880007.5

YEAR: 2006

— = 500'





INQUIRY #: 4880007.5

YEAR: 1995

— = 500'





INQUIRY #: 4880007.5

YEAR: 1995

— = 500'





INQUIRY #: 4880007.5

YEAR: 1995

— = 500'



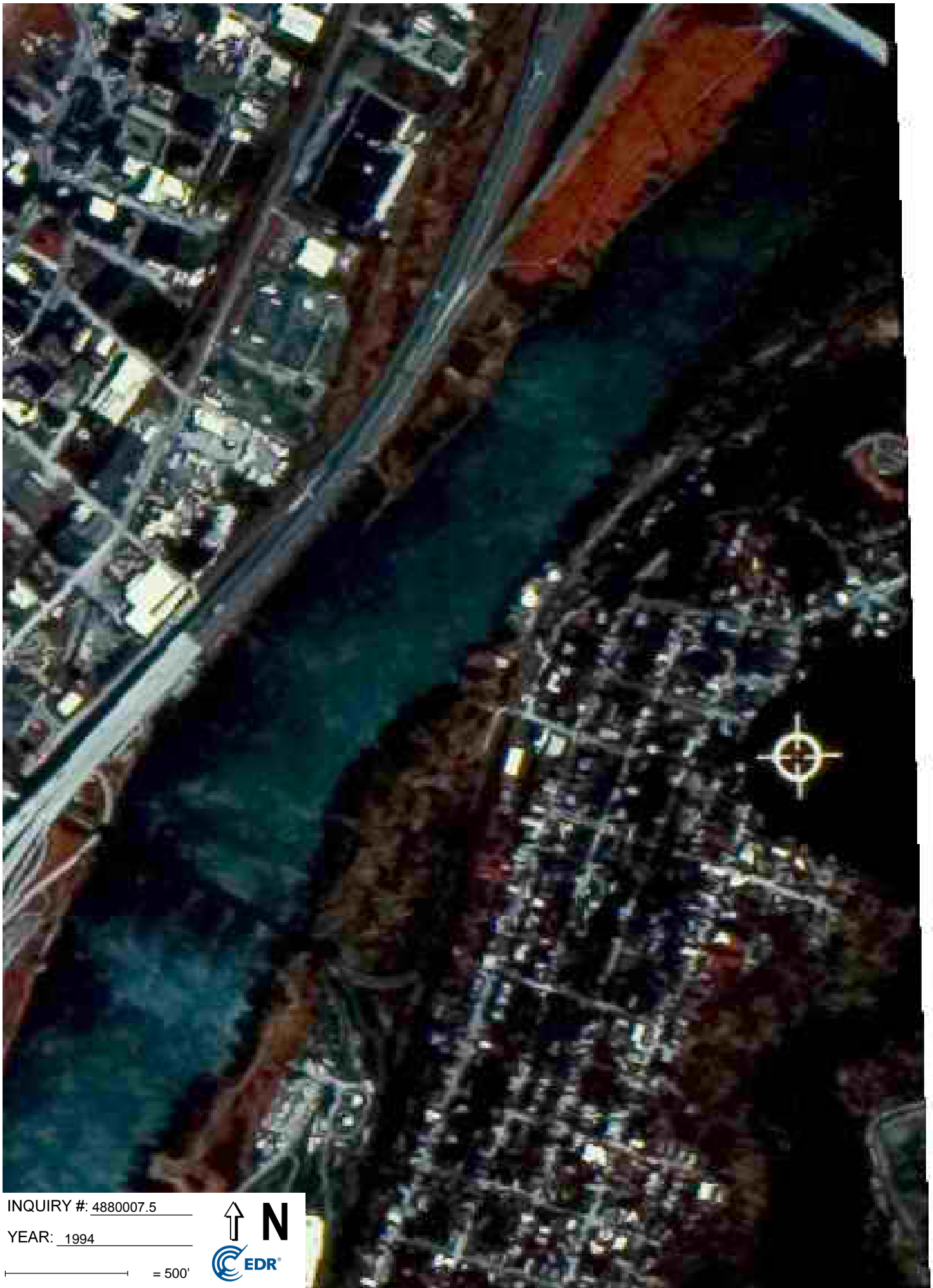


INQUIRY #: 4880007.5

YEAR: 1995

— = 500'





INQUIRY #: 4880007.5

YEAR: 1994

— = 500'





INQUIRY #: 4880007.5

YEAR: 1984

— = 1000'





INQUIRY #: 4880007.5

YEAR: 1984

— = 1000'





INQUIRY #: 4880007.5

YEAR: 1977

— = 500'





INQUIRY #: 4880007.5

YEAR: 1977

— = 500'



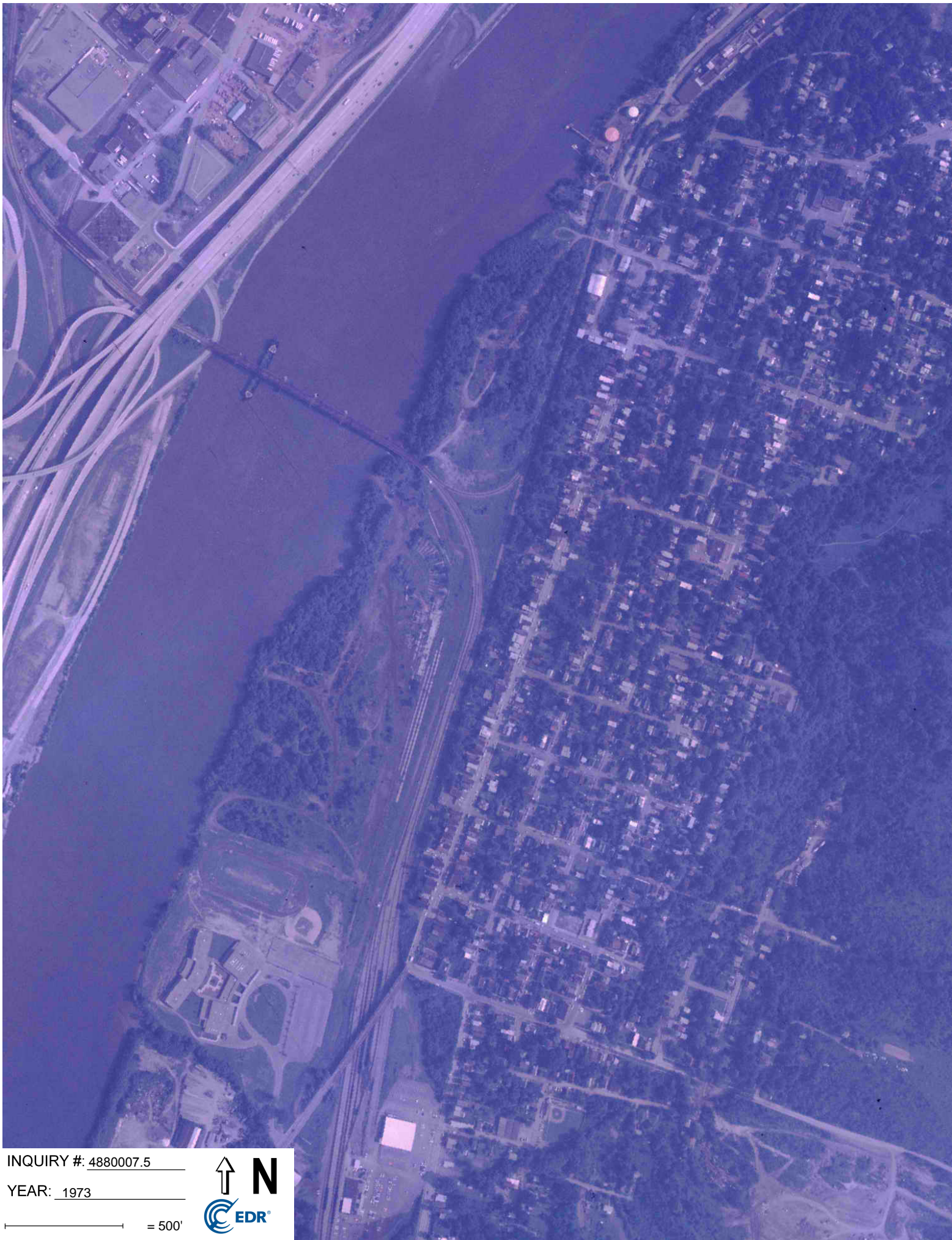


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INQUIRY #: 4880007.5

YEAR: 1973

— = 500'



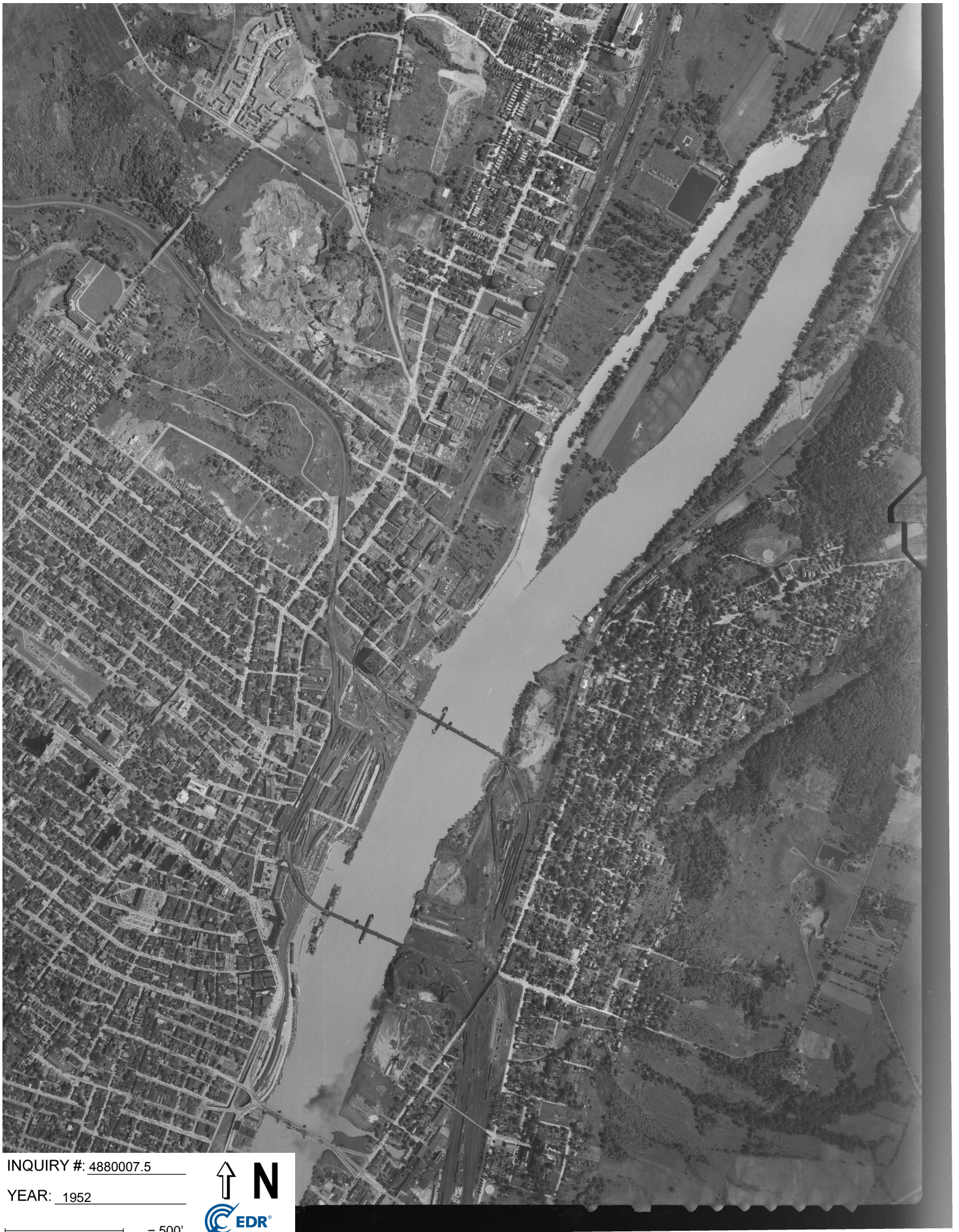
NASA/JSC 235 JUN 73

INQUIRY #: 4880007.5

YEAR: 1973

— = 500'





INQUIRY #: 4880007.5

YEAR: 1952

— = 500'



6-2-52

INQUIRY #: 4880007.5

YEAR: 1952

— = 500'





INQUIRY #: 4880007.5

YEAR: 1942

— = 500'





INQUIRY #: 4880007.5

YEAR: 1942

— = 500'



Appendix 8
Correspondence



United States Department of the Interior



FISH AND WILDLIFE SERVICE

New York Ecological Services Field Office

3817 Luker Road

Cortland, NY 13045-9349

Phone: (607) 753-9334 Fax: (607) 753-9699

<http://www.fws.gov/northeast/nyfo/es/section7.htm>

In Reply Refer To:

October 03, 2017

Consultation Code: 05E1NY00-2016-SLI-0646

Event Code: 05E1NY00-2018-E-00070

Project Name: Kiliaen's Landing

Subject: Updated list of threatened and endangered species that may occur in your proposed project location, and/or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (ESA) of 1973, as amended (16 U.S.C. 1531 et seq.). This list can also be used to determine whether listed species may be present for projects without federal agency involvement. New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list.

Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the ESA, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC site at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list. If listed, proposed, or candidate species were identified as potentially occurring in the project area, coordination with our office is encouraged. Information on the steps involved with assessing potential impacts from projects can be found at: <http://www.fws.gov/northeast/nyfo/es/section7.htm>

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 et seq.), and projects affecting these species may require development of an eagle conservation plan (

http://www.fws.gov/windenergy/eagle_guidance.html). Additionally, wind energy projects should follow the Services wind energy guidelines (<http://www.fws.gov/windenergy/>) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm>; <http://www.towerkill.com>; and <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the ESA. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

New York Ecological Services Field Office
3817 Luker Road
Cortland, NY 13045-9349
(607) 753-9334

Project Summary

Consultation Code: 05E1NY00-2016-SLI-0646

Event Code: 05E1NY00-2018-E-00070

Project Name: Kiliaen's Landing

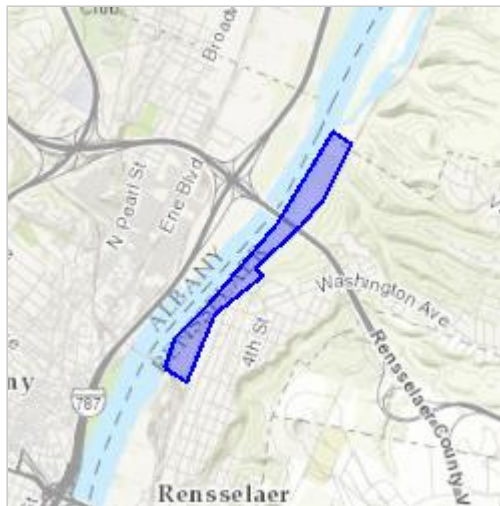
Project Type: DEVELOPMENT

Project Description: DGEIS and Master Plan for redevelopment of a waterfront area.

Project Location:

Approximate location of the project can be viewed in Google Maps:

<https://www.google.com/maps/place/42.66159374286331N73.73065659716261W>



Counties: Rensselaer, NY

Endangered Species Act Species

There is a total of 1 threatened, endangered, or candidate species on this species list. Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species. See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

Mammals

NAME	STATUS
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9045	Threatened

Critical habitats

There are no critical habitats within your project area under this office's jurisdiction.

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Fish and Wildlife, New York Natural Heritage Program
625 Broadway, Fifth Floor, Albany, NY 12233-4757
P: (518) 402-8935 | F: (518) 402-8925
www.dec.ny.gov

October 4, 2017

John W. Greaves
CHA Consulting, Inc.
3 Winners Circle
Albany, NY 12205

Re: Kilean's Landing Master Plan & DGEIS
County: Rensselaer Town/City: City Of Rensselaer

Dear Mr. Greaves:

In response to your recent request, we have reviewed the New York Natural Heritage Program database with respect to the above project.

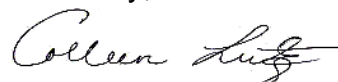
Enclosed is a report of rare or state-listed animals and plants that our database indicates occur in the vicinity of the project site.

For most sites, comprehensive field surveys have not been conducted; the enclosed report only includes records from our database. We cannot provide a definitive statement as to the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

Our database is continually growing as records are added and updated. If this proposed project is still under development one year from now, we recommend that you contact us again so that we may update this response with the most current information.

The presence of the plants and animals identified in the enclosed report may result in this project requiring additional review or permit conditions. For further guidance, and for information regarding other permits that may be required under state law for regulated areas or activities (e.g., regulated wetlands), please contact the NYS DEC Region 4 Office, Division of Environmental Permits, as listed at www.dec.ny.gov/about/39381.html.

Sincerely,



Colleen Lutz
Assistant Biologist
New York Natural Heritage Program

1208



The following state-listed animals have been documented in the vicinity of the project site.

The following list includes animals that are listed by NYS as Endangered, Threatened, or Special Concern; and/or that are federally listed or are candidates for federal listing.

For information about any permit considerations for the project, contact the Permits staff at the NYSDEC Region 4 Office. For information about potential impacts of the project on these species, and how to avoid, minimize, or mitigate any impacts, contact the Wildlife Manager.

A listing of Regional Offices is at <http://www.dec.ny.gov/about/558.html>.

The following species has been documented along the western boundary of the project site, within the Hudson River.

<i>COMMON NAME</i>	<i>SCIENTIFIC NAME</i>	<i>NY STATE LISTING</i>	<i>FEDERAL LISTING</i>	
Shortnose Sturgeon	<i>Acipenser brevirostrum</i>	Endangered	Endangered	9927

The following species has been documented within 0.6 mile of the project site.

<i>COMMON NAME</i>	<i>SCIENTIFIC NAME</i>	<i>NY STATE LISTING</i>	<i>FEDERAL LISTING</i>	
Bald Eagle <i>Nesting</i>	<i>Haliaeetus leucocephalus</i>	Threatened		14774

This report only includes records from the NY Natural Heritage database.

If any rare plants or animals are documented during site visits, we request that information on the observations be provided to the New York Natural Heritage Program so that we may update our database.

Information about many of the listed animals in New York, including habitat, biology, identification, conservation, and management, are available online in Natural Heritage's Conservation Guides at www.guides.nynhp.org, and from NYSDEC at www.dec.ny.gov/animals/7494.html.



The following rare animals have been documented at the project site and in its vicinity.

We recommend that potential onsite and offsite impacts of the proposed project on these species or communities be addressed as part of any environmental assessment or review conducted as part of the planning, permitting and approval process, such as reviews conducted under SEQ. Field surveys of the project site may be necessary to determine the status of a species at the site, particularly for sites that are currently undeveloped and may still contain suitable habitat. Final requirements of the project to avoid, minimize, or mitigate potential impacts are determined by the lead permitting agency or the government body approving the project.

The following animals, while not listed by New York State as Endangered or Threatened, are of conservation concern to the state, and are considered rare by the New York Natural Heritage Program.

<i>COMMON NAME</i>	<i>SCIENTIFIC NAME</i>	<i>NY STATE LISTING</i>	<i>HERITAGE CONSERVATION STATUS</i>
Dragonflies and Damselflies			
Cobra Clubtail	<i>Gomphus vastus</i>	Unlisted	Critically Imperiled in NYS
Hudson River South Troy, on the project site , 2008-07-03: The odonates were observed along a large river.			

13447

Freshwater Mussels			
Alewife Floater	<i>Anodonta imbecilis</i>	Unlisted	Critically Imperiled in NYS
Hudson River Troy to Albany, along the western edge of the project site south of the Patroon Island Bridge, 1984-fa: A long stretch of a river.			

This report only includes records from the NY Natural Heritage database. For most sites, comprehensive field surveys have not been conducted, and we cannot provide a definitive statement as to the presence or absence of all rare or state-listed species. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

If any rare plants or animals are documented during site visits, we request that information on the observations be provided to the New York Natural Heritage Program so that we may update our database.

Information about many of the rare animals and plants in New York, including habitat, biology, identification, conservation, and management, are available online in Natural Heritage's Conservation Guides at www.guides.nynhp.org, from NatureServe Explorer at www.natureserve.org/explorer, and from USDA's Plants Database at <http://plants.usda.gov/index.html> (for plants).



October 30, 2017

Chief Bill Hummel
City of Rensselaer Fire Department
North End Station
2 St. Francis Place
Rensselaer, New York 12144

**RE: Kiliaen's Landing Master Plan and Generic Environmental Impact Statement (GEIS)
City of Rensselaer
CHA Project No: 29703**

Dear Chief Hummel:

CHA Consulting has been working with the City to develop a Site Master Plan for the area identified as Kiliaen's Landing, an approximately 75-acre waterfront area located between the Livingston Avenue Bridge, the City's border with the Town of East Greenbush and Broadway.

Both a project location map and Site Master Plan for the "Preferred Alternative" are attached. By identifying a Preferred Alternative, potential investors and developers will have a better understanding of the City's goals when they propose projects within the Study Area. In brief the proposed Preferred Alternative includes the following elements:

Residential (adjacent to the Livingston Avenue Bridge)

- Approximately 356 apartment units total – studio, 1 Bedroom and 2 Bedroom
- One, 6 story building with 96 units
- Two, 5 story buildings (80 and 100 units)
- Two, 5 story buildings with 40 units each
- Emergency access, multiuse path extension under Livingston Avenue Bridge to southwest
- Surface parking associated with each structure

Waterfront

- Expansion and improvements to existing waterfront park and boat ramp
- Surface parking
- Multi-use path extension

Hilton Center Mixed Use Development

- Hilton Center Redevelopment – mixed use retail, residential and cultural arts
- Hilton Center to include approximately 50, 2 Bedroom apartments

Recreation- active and passive

- Multi-use pedestrian connection between existing waterfront park and property boundary with East Greenbush which will allow future connections to trails to the northeast
- Two-story, 31,200 SF recreation center in vicinity of Patroon Island Bridge
- Recreational fields- basketball, tennis, youth softball, little league, baseball, multi-purpose
- Surface parking

In order to identify any potential impacts related to the Preferred Alternative, CHA is also assisting the City with the preparation of a Generic Environmental Impact Statement. This document will evaluate topics such as land use and zoning, utilities, and community services. To that end we are requesting your input regarding the ability of the fire department to provide service to the potential development on this site. Although it is anticipated that the residential areas would develop first, the timing will be driven by market forces and will likely occur in phases. Construction is anticipated to begin in early 2019.

More information can be found on the project website at <http://www.kiliaenslanding.com/>. I am available to discuss this project with you in person or by phone at your convenience. I will contact you within the week to arrange a time when we can speak.

If you have any questions you may contact me at 518-453-8771 or jloewenstein@chacompanies.com.

Sincerely,



Jean Loewenstein, AICP
Principal Planner

JL:dm
Enc.

cc: Charles Moore, AICP, Director of Planning, City of Rensselaer



Loewenstein, Jean

From: bill.hummel <bill.hummel@rensselaerny.gov>
Sent: Friday, November 17, 2017 10:03 AM
To: Loewenstein, Jean
Subject: RE: Kiliaen's Landing Generic Environmental Impact Statement

Hello, Jean,

Thanks for the request. The Rensselaer Fire Department is a combination-type service, relying on 16 career and about 20 active volunteer firefighters.

The career members are all NY State Emergency Medical Technicians, and so perform at the basic life support level. Advanced life support is provided by a private contractor, Mohawk Ambulance Service.

Staffing is 3 or 4 career members on duty at all times, located at the two fire stations. These folks handle most of the medical calls, and the automatic

fire alarms. Volunteer personnel are called in for major incidents. In addition, Rensselaer is part of the Rensselaer County mutual aid system, where we

can significantly augment our resources fairly quickly.

Our initial concern with any new development is adequate access for fire apparatus, and adequate water supply in the event of a fire. Fire apparatus are

considerably larger than the family car, and we need to keep that in mind as building/structure footprints are developed. These concerns are easily

addressed early in planning, and difficult to fix later on! As far as the additional residents, the department should be able to handle those numbers

without too much problem.

The three chief officers in the Fire Department are all part-time, so please have patience if we need time to get back to you on this project. Thanks

again for keeping us updated.

Respectfully,
Bill Hummel, Fire Chief

From: Loewenstein, Jean [RLoewenstein2@chacompanies.com]
Sent: Wednesday, November 15, 2017 3:23 PM
To: bill.hummel
Subject: Kiliaen's Landing Generic Environmental Impact Statement

Good Afternoon Chief Hummel,

I am following up on correspondence emailed to you on 10/30/17 in regards to the above referenced project and the impact it may have on your department. To that end, the following information from you would be very helpful:

- * Information on staffing, # of volunteers
- * Does the department include EMT's
- * Any specific concerns you have regarding size, layout, building heights, or uses of the potential project.
- * At full build-out the project could result in approximately 660 additional residents in the City over a 5-10 year period. Would this create any difficulties in continuing services at present levels?

I will be in the office all day tomorrow (Thursday) and back in the office all day Monday and Tuesday. I look forward to hearing from you.

Jean Loewenstein, AICP
Principal Planner
CHA ~ design/construction solutions
Office: (518) 453-8771
jloewenstein@chacompanies.com<mailto:jloewenstein@chacompanies.com>
www.chacompanies.com<<http://www.chacompanies.com/>>

[<http://marketing.chacompanies.com/logos/emailsig/chalogoSig.png>]<<http://www.chacompanies.com/>>

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[<http://marketing.chacompanies.com/logos/emailsig/instagramSig.png>]<<https://www.instagram.com/chacompanies>>

[<http://marketing.chacompanies.com/logos/emailsig/youtubeSquircleSig.png>]<https://www.youtube.com/channel/UC6e8WctI_RXk2QqnDaf6Pug>

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Thank you.



October 25, 2017

Mrs. Sally Ann Shields, Superintendent
Rensselaer City Schools
25 Van Rensselaer Drive
Rensselaer, New York 12144

**RE: Kiliaen's Landing Master Plan and Generic Environmental Impact Statement (GEIS)
City of Rensselaer
CHA Project No: 29703**

Dear Superintendent Shields:

CHA Consulting has been working with the City to develop a Site Master Plan for the area identified as Kiliaen's Landing, an approximately 75-acre waterfront area located between the Livingston Avenue Bridge, the City's border with the Town of East Greenbush and Broadway.

Both a project location map and Site Master Plan for the "Preferred Alternative" are attached. By identifying a Preferred Alternative, potential investors and developers will have a better understanding of the City's goals when they propose projects within the Study Area. In brief the proposed Preferred Alternative includes the following elements:

Residential (adjacent to the Livingston Avenue Bridge)

- Approximately 356 apartment units total – studio, 1 Bedroom and 2 Bedroom
- One, 6 story building with 96 units
- Two, 5 story buildings (80 and 100 units)
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- Hilton Center to include approximately 50, 2 Bedroom apartments

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- Two-story, 31,200 SF recreation center in vicinity of Patroon Island Bridge
- Recreational fields- basketball, tennis, youth softball, little league, baseball, multi-purpose
- Surface parking

In order to identify any potential impacts related to the Preferred Alternative, CHA is also assisting the City with the preparation of a Generic Environmental Impact Statement. This document will evaluate topics such as land use and zoning, utilities, and community services. To that end we are requesting your input regarding the potential impact of the addition of new students within the Rensselaer City School District. Although it is anticipated that the residential areas would develop first, the timing will be driven by market forces and will likely occur in phases. Construction is anticipated to begin in early 2019.

We anticipate that the build out of the Preferred Alternative could result in approximately 68 total additional students including 43 public school students. This is based on the report "Estimates of the Occupants of New Housing" report prepared by Rutgers University, Center for Urban Policy Research. The multipliers used were specific to New York State.

More information can be found on the project website at <http://www.kiliaenslanding.com/>. I am available to discuss this project with you in person or by phone at your convenience. I will contact you within the week to arrange a time when we can speak.

If you have any questions you may contact me at 518-453-8771 or jloewenstein@chacompanies.com.

Sincerely,



Jean Loewenstein, AICP
Principal Planner

JL:dm
Enc.

cc: Charles Moore, AICP, Director of Planning, City of Rensselaer





October 30, 2017

Deputy Chief Jim Frankoski
Rensselaer Police Department
201 Broadway
Rensselaer, NY 12144

**RE: Kiliaen's Landing Master Plan and Generic Environmental Impact Statement (GEIS)
City of Rensselaer
CHA Project No: 29703**

Dear Deputy Chief Frankoski:

CHA Consulting has been working with the City to develop a Site Master Plan for the area identified as Kiliaen's Landing, an approximately 75-acre waterfront area located between the Livingston Avenue Bridge, the City's border with the Town of East Greenbush and Broadway.

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In order to identify any potential impacts related to the Preferred Alternative, CHA is also assisting the City with the preparation of a Generic Environmental Impact Statement. This document will evaluate topics such as land use and zoning, utilities, and community services. To that end we are requesting your input regarding the ability of the Police department to provide service to the potential development on this site. Although it is anticipated that the residential areas would develop first, the timing will be driven by market forces and will likely occur in phases. Construction is anticipated to begin in early 2019.

More information can be found on the project website at <http://www.kiliaenslanding.com/>. I am available to discuss this project with you in person or by phone at your convenience. I will contact you within the week to arrange a time when we can speak.

If you have any questions you may contact me at 518-453-8771 or jloewenstein@chacompanies.com.

Sincerely,



Jean Loewenstein, AICP
Principal Planner

JL:dm
Enc.

cc: Charles Moore, AICP, Director of Planning, City of Rensselaer





December 13, 2017

Mr. Robert Rohauer,
CSX Railroad

**RE: Kiliaen's Landing Master Plan and Generic Environmental Impact Statement (GEIS)
City of Rensselaer
CHA Project No: 29703**

Dear Mr. Rohauer:

CHA Consulting has been working with the City of Rensselaer to develop a Site Master Plan for the area identified as Kiliaen's Landing, an approximately 75-acre waterfront area located between the Livingston Avenue Bridge, the City's border with the Town of East Greenbush and Broadway.

Both a project location map and a map representing the "Preferred Alternative" are attached. Currently site access is via at grade railroad crossings at Forbes Avenue, Central Avenue and Tracy Street. As shown on the Preferred Alternative, the site would be accessed via Forbes Avenue and Tracy Street. Central Avenue serves a single parcel not included in the Study Area.

In brief the proposed Preferred Alternative includes the following elements:

Residential (adjacent to the Livingston Avenue Bridge)

- Approximately 356 apartment units total – studio, 1 Bedroom and 2 Bedroom
- One, 6 story building with 96 units
- Two, 5 story buildings (80 and 100 units)
- Two, 5 story buildings with 40 units each
- Emergency access, multiuse path extension under Livingston Avenue Bridge to southwest
- Surface parking associated with each structure

Waterfront

- Expansion and improvements to existing waterfront park and boat ramp
- Surface parking
- Multi-use path extension

Hilton Center Mixed Use Development

- Hilton Center Redevelopment – mixed use retail, residential and cultural arts
- Hilton Center to include approximately 50, 2 Bedroom apartments

Recreation- active and passive

- Multi-use pedestrian connection between existing waterfront park and property boundary with East Greenbush which will allow future connections to trails to the northeast

- Two-story, 31,200 SF recreation center in vicinity of Patroon Island Bridge
- Recreational fields- basketball, tennis, youth softball, little league, baseball, multi-purpose
- Surface parking

The apartment units located in the vicinity of the Livingston Avenue Bridge would access the site via Tracy Street. Access to the remainder of the site (boat launch, Hilton Center, recreational amenities and the northernmost apartment unit) would enter the site via Forbes Avenue. Trip generation rates for the site based on the Preferred Alternative include:

- AM Peak Hour: 111 vehicles entering, 212 vehicles exiting
- PM Peak Hour: 402 vehicles entering, 235 vehicles exiting

CHA is requesting your input regarding the CSX process to evaluate and identify any necessary improvements to the railroad crossings as a result of the Preferred Alternative. It is anticipated that the residential areas would develop first, the timing will be driven by market forces and will likely occur in phases.

More information can be found on the project website at <http://www.kiliaenslanding.com/>. I am available to discuss this project with you in person or by phone at your convenience.

If you have any questions you may contact me at 518-453-8771 or jloewenstein@chacompanies.com.

Sincerely,

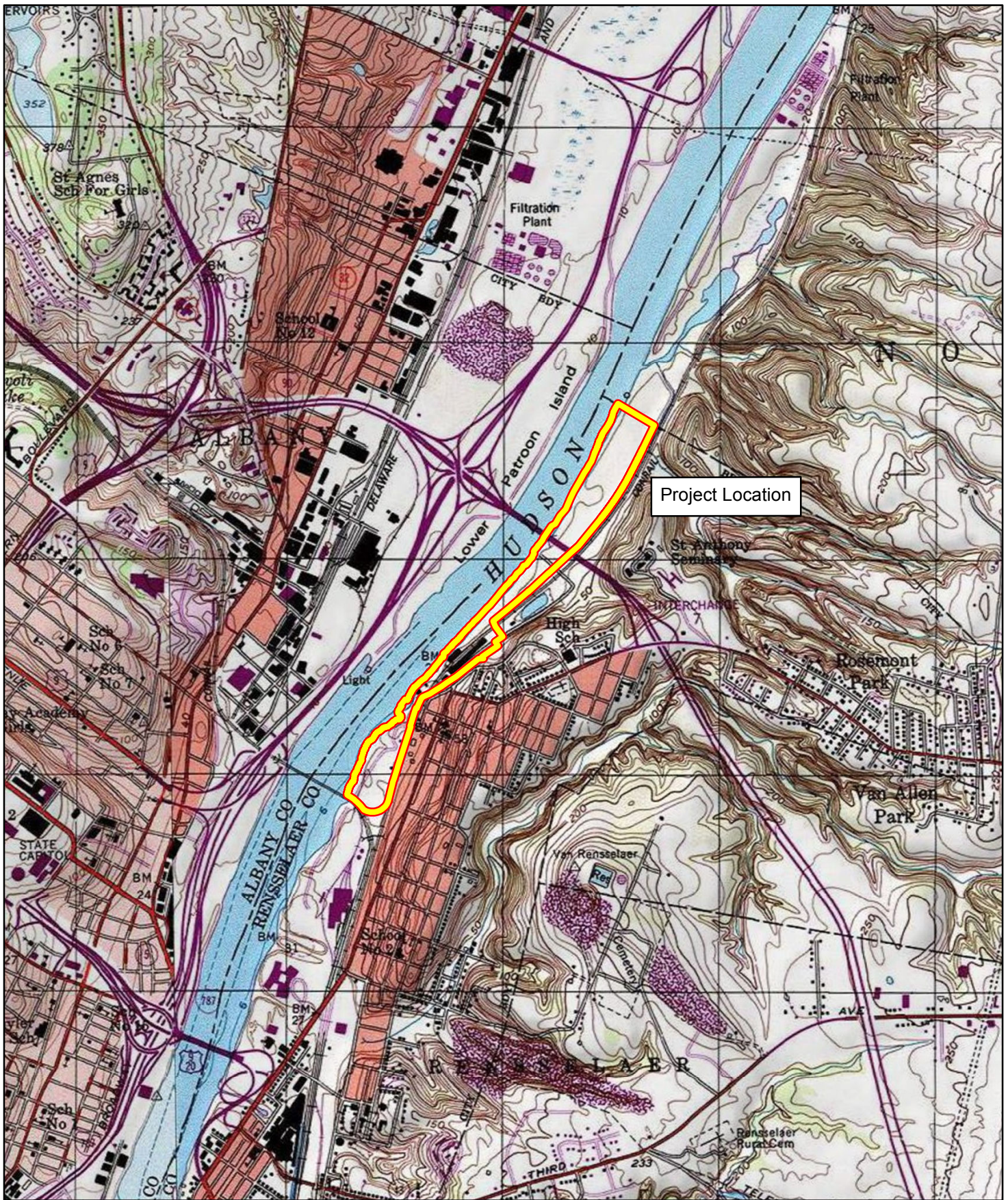


Jean Loewenstein, AICP
Principal Planner



JL:dm
Enc.

cc: Charles Moore, AICP, Director of Planning, City of Rensselaer





Project Location

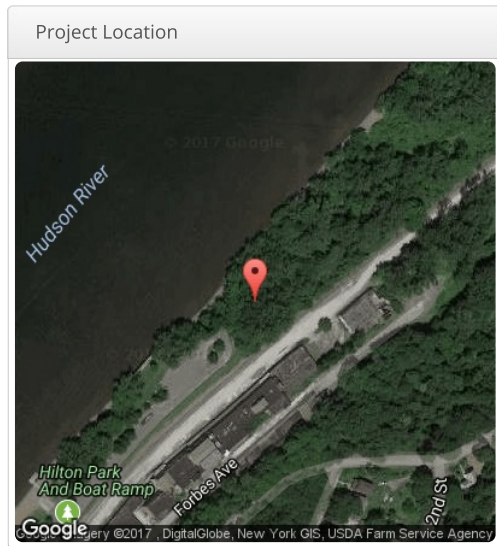
	 CIA design/construction solutions	Figure 1-1 USGS Project Location Map Kiliaen's Landing City of Rensselaer, Rensselaer County, New York Troy South USGS Quadrangle
	Scale 1" = 2000'	CHA No. 29703



Attachment 9
Solar Energy Information

Design 1 Kiliaen's Landing, 20 Forbes Ave Rensselaer, NY

Design	
Design	Design 1
DC Nameplate	918.7 kW
AC Nameplate	780.0 kW (1.18 DC/AC)
Last Modified	Jessica Harris (Today at 4:56 PM)



Components		
Component	Name	Count
Inverters	PVI 60TL (Solectria)	13 (780.0 kW)
Home Runs	500 MCM (Copper)	26 (7,136.7 ft)
Combiners	1 input Combiner	26
Combiners	5 input Combiner	13
Combiners	8 input Combiner	13
Strings	10 AWG (Copper)	169 (57,464.2 ft)
Module	Canadian Solar, CS6X-305P (305W)	3,012 (918.7 kW)

Field Segments									
Description	Racking	Orientation	Tilt	Azimuth	Intrarow Spacing	Frame Size	Frames	Modules	Power
Building 1	Fixed Tilt	Landscape (Horizontal)	5°	195.232°	0.7 ft	1x1	646	646	197.0 kW
Building 2	Fixed Tilt	Landscape (Horizontal)	5°	104.311°	0.7 ft	1x1	680	680	207.4 kW
Building 3	Fixed Tilt	Landscape (Horizontal)	5°	118.652°	0.7 ft	1x1	840	840	256.2 kW
Building 4	Fixed Tilt	Landscape (Horizontal)	5°	137.875°	0.7 ft	1x1	277	277	84.5 kW
Building 5	Fixed Tilt	Landscape (Horizontal)	5°	119.908°	0.7 ft	1x1	220	220	67.1 kW
Building 7	Fixed Tilt	Landscape (Horizontal)	5°	111.46°	0.7 ft	1x1	349	349	106.4 kW

Wiring Zones			
Description	Combiner Poles	String Size	Stringing Strategy
Wiring Zone	12	16-19	Along Racking

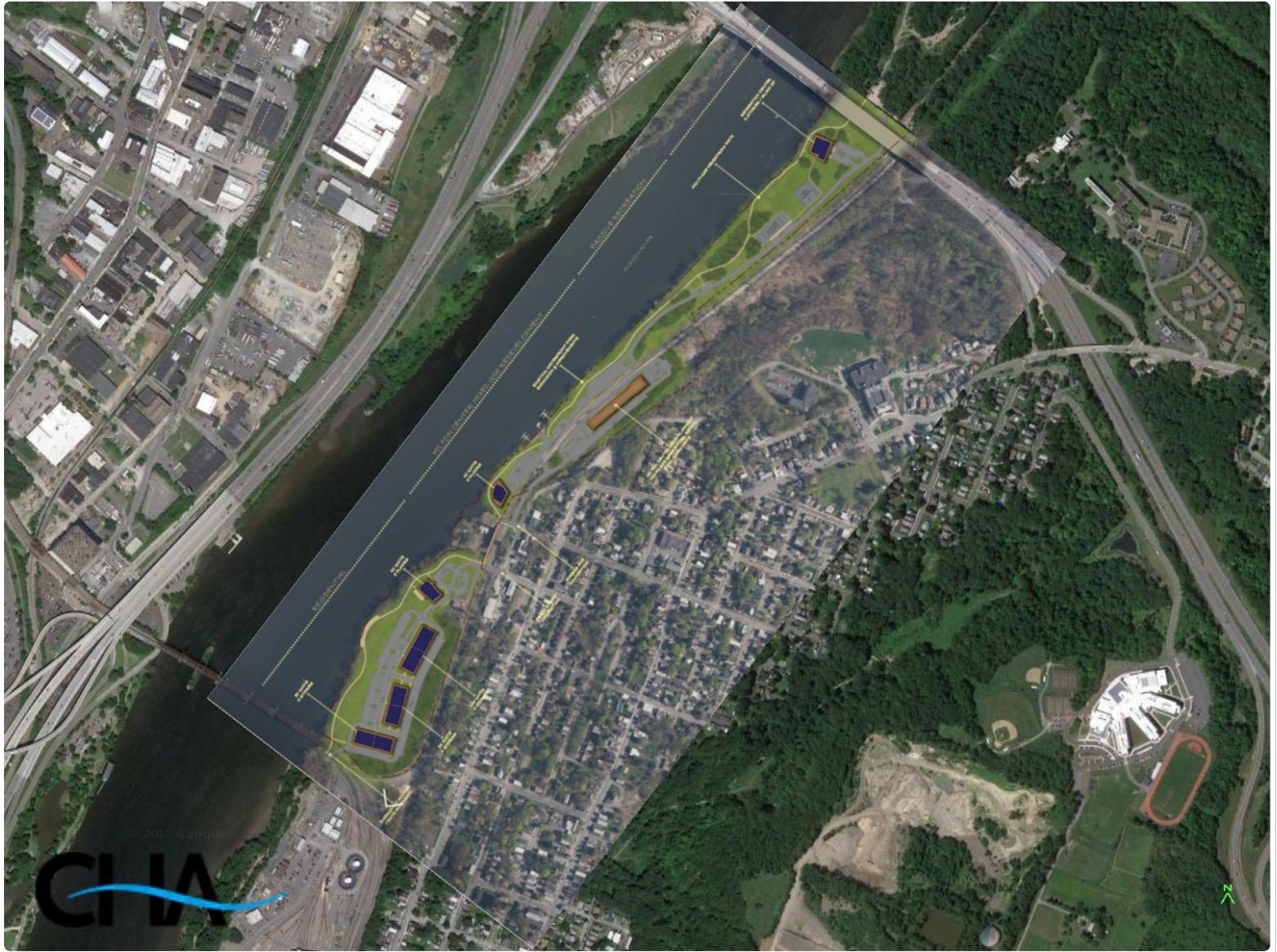
Helioscope 2016 design software was used to create a photovoltaic array for each roof structure with the following parameters:

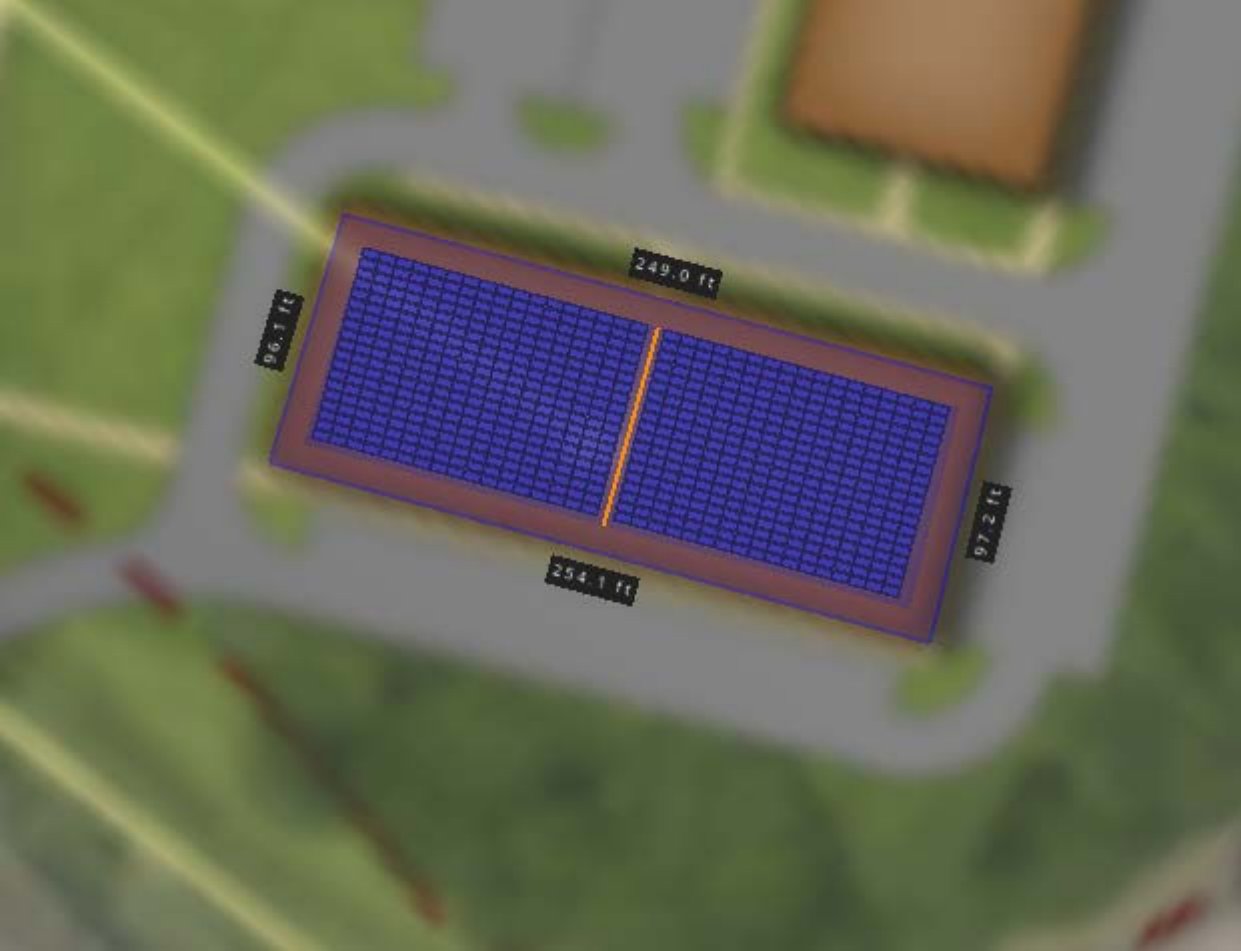
1. 5 degree ballasted system (If roofs are peaked assume flush mounted system with penetrations).
2. 10 foot offset from roof edge.
3. Maximum 150 foot spans without mechanical access or walkways.

Obstructions and building heights were estimated using aerial images from Google maps. Only obstructions visible on Google Earth images were included.

More detailed analysis is possible once specific information regarding site layout and structures becomes available.

Detailed Layout





96.1 ft

249.0 ft

97.2 ft

254.1 ft



97.9 ft

245.7 ft

246.6 ft

100.2 ft



98.5 ft

300.8 ft

300.5 ft

99.1 ft



89.8 ft

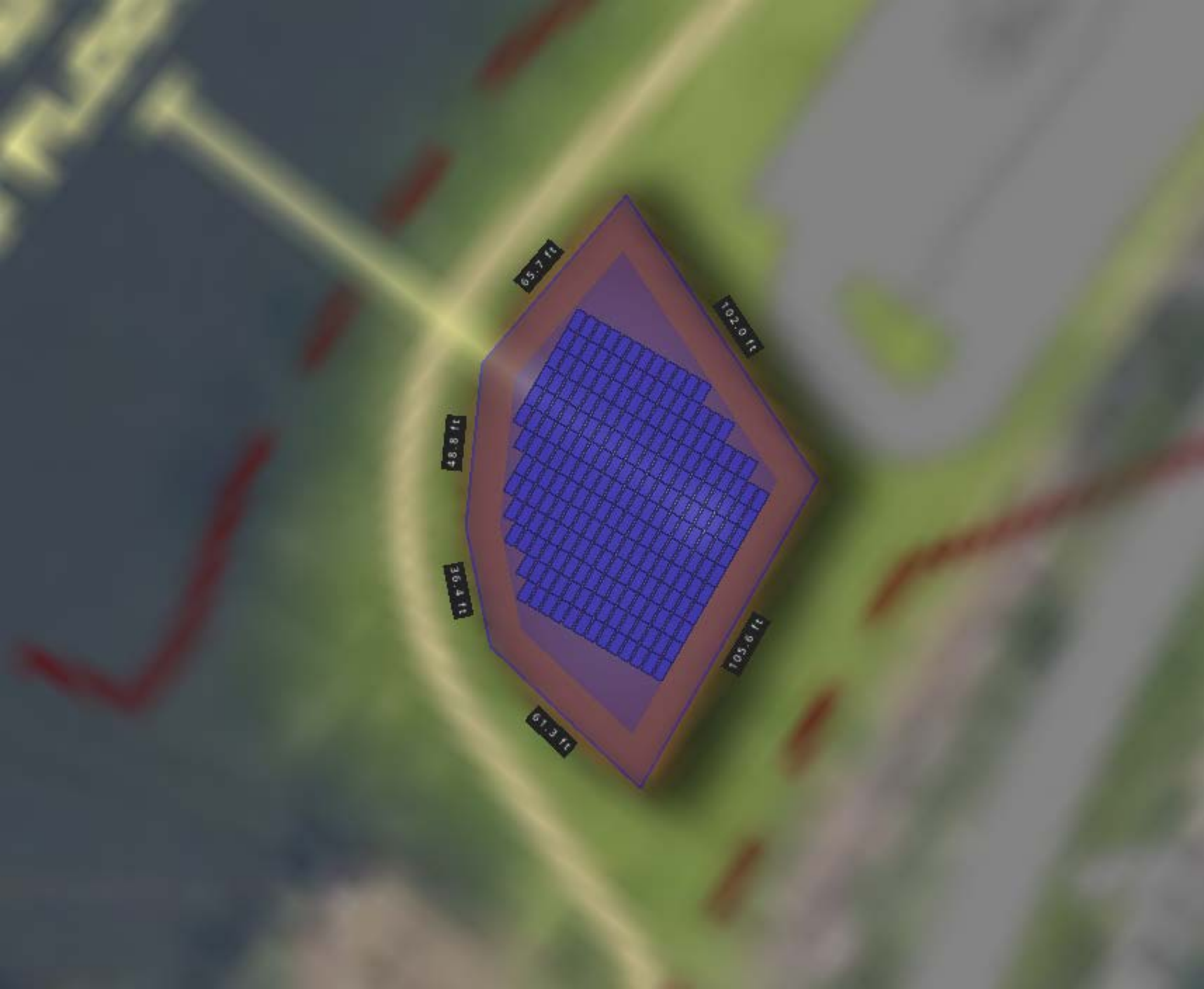
133.9 ft

51.7 ft

10.3 ft

51.8 ft

83.4 ft



31.7' 9E

48.8' ft

65.7' ft

102.0' ft

105.6' ft

31.7' 9E



112.1 ft

118.0 ft

133.8 ft

57.3 ft

62.2 ft

22.3 ft

Building #	Type	Est. Elec. Demand (kW)	Helioscope Layout System Size - Maximum	Assuming obstructions 40% reduction kW	% of overall demand
Building 1	Residential	500	197	118.2	23.64%
Building 2	Residential	580	207.4	124.44	21.46%
Building 3	Residential	650	256.2	153.72	23.65%
Building 4	Residential	300	84.5	50.7	16.90%
Building 5	Residential	300	67.1	40.26	13.42%
Building 6	Hilton Center	550	-	-	-
Building 7	Recreation Center	265	106.8	64.08	24.18%
	Total	3,145	919.00	551.40	17.53%

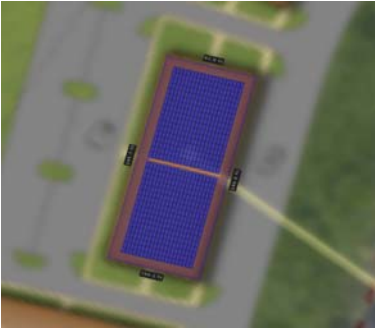
Bld 1



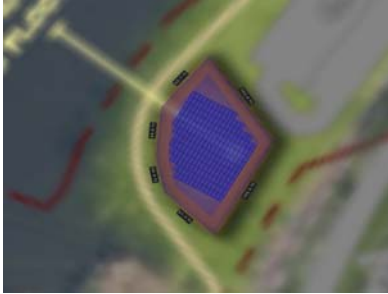
Bld 4



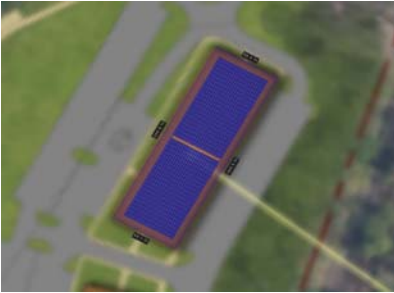
Bld 2



Bld 5



Bld 3



Bld 7





Caution: Photovoltaic system performance predictions calculated by PVWatts® include many inherent assumptions and uncertainties and do not reflect variations between PV technologies nor site-specific characteristics except as represented by PVWatts® inputs. For example, PV modules with better performance are not differentiated within PVWatts® from lesser performing modules. Both NREL and private companies provide more sophisticated PV modeling tools (such as the System Advisor Model at <http://sam.nrel.gov>) that allow for more precise and complex modeling of PV systems.

The expected range is based on 30 years of actual weather data at the given location and is intended to provide an indication of the variation you might see. For more information, please refer to this NREL report: The Error Report.

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The energy output range is based on analysis of 30 years of historical weather data for nearby , and is intended to provide an indication of the possible interannual variability in generation for a Fixed (open rack) PV system at this location.

RESULTS

479,846 kWh per Year *

System output may range from 458,733 to 487,428kWh per year near this location.

Month	Solar Radiation (kWh / m ² / day)	AC Energy (kWh)	Energy Value (\$)
January	2.18	23,578	2,768
February	3.14	30,820	3,618
March	3.82	40,568	4,763
April	4.94	49,426	5,803
May	5.91	57,636	6,766
June	5.97	55,093	6,468
July	6.21	58,054	6,816
August	5.54	52,656	6,182
September	4.50	42,422	4,980
October	3.25	32,518	3,818
November	1.89	19,126	2,245
December	1.66	17,949	2,107
Annual	4.08	479,846	\$ 56,334

Location and Station Identification

Requested Location	Rensselaer, NY
Weather Data Source	(TMY2) ALBANY, NY 8.0 mi
Latitude	42.75° N
Longitude	73.8° W

PV System Specifications *(Residential)*

DC System Size	400 kW
Module Type	Standard
Array Type	Fixed (open rack)
Array Tilt	10°
Array Azimuth	195°
System Losses	14%
Inverter Efficiency	96%
DC to AC Size Ratio	1.1

Initial Economic Comparison

Average Cost of Electricity Purchased from Utility	0.12 \$/kWh
Initial Cost	3.30 \$/Wdc
Cost of Electricity Generated by System	0.22 \$/kWh

These values can be compared to get an idea of the cost-effectiveness of this system. However, system costs, system financing options (including 3rd party ownership) and complex utility rates can significantly change the relative value of the PV system.